

**WORK SESSION AGENDA OF THE CITY COUNCIL OF HURST, TEXAS  
CITY HALL, 1505 PRECINCT LINE ROAD  
FIRST FLOOR CONFERENCE ROOM  
TUESDAY, JANUARY 12, 2016 – 5:30 P.M.**

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**I. Call to Order**

**II. Informational Items**

- Staff presentation and discussion regarding proposed City Mobile Application

**III. Discussion of Agenda Item(s) 9 and 10**

Conduct a public hearing to consider SP-15-11, Professional Precinct Center, a site plan for Lot 1, Block 1, Professional Precinct Center Addition, being .85 acre located at 7040 Precinct Line Road

Consider Ordinance 2310, first reading, SP-15-11, Professional Precinct Center, a site plan for Lot 1, Block 1, Professional Precinct Center Addition, being .85 acre located at 7040 Precinct Line Road

**Michelle Lazo**

**IV. Discussion of Agenda Item(s) 11 and 12**

Conduct a public hearing to consider SP-15-15, Slim Chickens, a site plan approval on Lot 5E, Block 1A, Olde Towne Square, being 1.10 acres located at 1420 Precinct Line Road

Consider Ordinance 2311, first reading, SP-15-15, Slim Chickens, a site plan approval on Lot 5E, Block 1A, Olde Towne Square, being 1.10 acres located at 1420 Precinct Line Road

**Michelle Lazo**

**V. Discussion of Agenda Item(s) 13 and 14**

Conduct a public hearing to consider SP-15-18, El Pollo Loco, a site plan approval on Lot D1, Block 1, K-Mart Plaza Addition, being .62 acre located at 1245 Pipeline Road

Consider Ordinance 2312, first reading, SP-15-18, El Pollo Loco, a site plan approval on Lot D1, Block 1, K-Mart Plaza Addition, being .62 acre located at 1245 Pipeline Road

**Michelle Lazo**

**VI. Discussion of Agenda Item(s) 15**

Conduct a public hearing for the FY 2016, 42nd Year Community Development Block Grant Program

**Greg Dickens**

**VII. Discussion of Agenda Item(s) 16**

Consider P-15-16, Professional Precinct Center, a final plat of Tract 3A4 WA Doty Survey, A 420 to Lot 1, Block 1 Professional Precinct Center Addition, being .853 acre located at 7040 Precinct Line Road

**Michelle Lazo**

**VIII. Discussion of Agenda Item(s) 17**

Consider P-15-18 Melbourne Place Addition, a final plat of Lots 1-9, Block 1, Lots 1-6, Block 2 and Lots 1-3, Block 3 Melbourne Place Addition, being 7.42 acres located at 100 Melbourne Road

**Michelle Lazo**

**IX. Discussion of Agenda Item(s) 18**

Consider Ordinance 2309, first reading, concerning designation of a proposed school speed limit zone on Pipeline Road for the Harrison Lane intersection

**Greg Dickens**

**X. Discussion of Agenda Item(s) 19**

Consider Resolution 1634 authorizing the Police Department to participate in the Tarrant County Combined Narcotics Enforcement Team (CNET)

**Stephen Moore**

**XI. Discussion of Agenda Item(s) 20**

Consider Resolution 1635 calling the City of Hurst May 7, 2016 General Election

**Rita Frick**

**XII. Adjournment**

Posted by: \_\_\_\_\_

This the 8th day of January 2016, by 5:00 p.m., in accordance with Chapter 551, Texas Government Code.

**This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's office at (817) 788-7041 or FAX (817) 788-7054, or call TDD 1-800-RELAY-TX (1-800-735-2989) for information or assistance.**

**REGULAR MEETING AGENDA OF THE CITY COUNCIL OF HURST, TEXAS  
CITY HALL, 1505 PRECINCT LINE ROAD  
TUESDAY, JANUARY 12, 2016**

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**AGENDA:**

**5:30 p.m. - City Council Work Session (City Hall, First Floor Conference Room)**

**6:30 p.m. - City Council Meeting (City Hall, Council Chamber)**

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**CALL TO ORDER**

**INVOCATION (Councilmember Henry Wilson)**

**PLEDGE OF ALLEGIANCE**

**PRESENTATION(S)**

1. Presentation of Life Saving Certificates

**CONSENT AGENDA**

2. Consider approval of the minutes for the December 8, 2015 City Council meetings
3. Consider Ordinance 2302, second reading, SP-15-14 i-Fly Indoor Skydiving, a site plan approval on Lot HR4, Block A, S. Hayworth Addition, being 1.10 acres located at 655 NE Loop 820
4. Consider Ordinance 2307, second reading, SP-15-16 Chick-fil-A, a site plan revision for Lot A-2, Block 1 K-mart Plaza Addition, being .95 acre located at 1475 W. Pipeline Road
5. Consider Ordinance 2306, second reading, concerning the City's Storm Water Management Plan requirements for detection and elimination of illicit discharges and erosion and sediment control during construction and post construction
6. Consider authorizing the Mayor to execute the Risk Map (Mapping, Assessment, and Planning) Cooperation Statement with the Federal Emergency Management Agency (FEMA) and Risk Assessment, Mapping, and Planning Partners (RAMPP)
7. Consider authorizing the city manager to enter into an Engineering Services Contract Amendment 1 to Halff Associates, Inc., for engineering services for Valley View Branch Flood Protection Planning Study

8. Consider authorizing the city manager to purchase (1) one 2016 Ford F-250 pickup for the Emergency Medical Services Coordinator

**PUBLIC HEARING(S) AND RELATED ITEM(S)**

9. Conduct a public hearing to consider SP-15-11, Professional Precinct Center, a site plan for Lot 1, Block 1, Professional Precinct Center Addition, being .85 acre located at 7040 Precinct Line Road
10. Consider Ordinance 2310, first reading, SP-15-11, Professional Precinct Center, a site plan for Lot 1, Block 1, Professional Precinct Center Addition, being .85 acre located at 7040 Precinct Line Road
11. Conduct a public hearing to consider SP-15-15, Slim Chickens, a site plan approval on Lot 5E, Block 1A, Olde Towne Square, being 1.10 acres located at 1420 Precinct Line Road
12. Consider Ordinance 2311, first reading, SP-15-15, Slim Chickens, a site plan approval on Lot 5E, Block 1A, Olde Towne Square, being 1.10 acres located at 1420 Precinct Line Road
13. Conduct a public hearing to consider SP-15-18, El Pollo Loco, a site plan approval on Lot D1, Block 1, K-Mart Plaza Addition, being .62 acre located at 1245 Pipeline Road
14. Consider Ordinance 2312, first reading, SP-15-18, El Pollo Loco, a site plan approval on Lot D1, Block 1, K-Mart Plaza Addition, being .62 acre located at 1245 Pipeline Road
15. Conduct a public hearing for the FY 2016, 42nd Year Community Development Block Grant Program

**PLAT(S)**

16. Consider P-15-16, Professional Precinct Center, a final plat of Tract 3A4 WA Doty Survey, A 420 to Lot 1, Block 1 Professional Precinct Center Addition, being .853 acre located at 7040 Precinct Line Road
17. Consider P-15-18 Melbourne Place Addition, a final plat of Lots 1-9, Block 1, Lots 1-6, Block 2 and Lots 1-3, Block 3 Melbourne Place Addition, being 7.42 acres located at 100 Melbourne Road

**ORDINANCE(S)**

18. Consider Ordinance 2309, first reading, concerning designation of a proposed school speed limit zone on Pipeline Road for the Harrison Lane intersection

**RESOLUTION(S)**

19. Consider Resolution 1634 authorizing the Police Department to participate in the Tarrant County Combined Narcotics Enforcement Team (CNET)
20. Consider Resolution 1635 calling the City of Hurst May 7, 2016 General Election

**OTHER BUSINESS**

21. Review of the following advisory board meeting minutes:
  - HEB Teen Court Advisory Board
22. Review of upcoming calendar items
23. City Council Reports

**PUBLIC INVITED TO BE HEARD – A REQUEST TO APPEAR CARD MUST BE COMPLETED AND RETURNED TO THE CITY SECRETARY TO BE RECOGNIZED**

**EXECUTIVE SESSION in Compliance With the Provisions of the Texas Open Meetings Law, Authorized by Government Code, Section 551.071 to consult with City Attorney to seek advice regarding Compromise Settlement Agreement (Johnny Harbin and Sylvia Harbin V. City of Hurst) and 551.087 deliberation and conducting of economic development negotiations regarding financial information relative to prospective business expansion and to reconvene in Open Session at the conclusion of the Executive Session**

24. Take any and all action necessary ensuing from Executive Session

**ADJOURNMENT**

Posted by: \_\_\_\_\_

This 8th day of January 2016, by 5:00 p.m., in accordance with Chapter 551, Texas Government Code.

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City Council Staff Report

SUBJECT: Presentation of Life Saving Award to Officer Brandon Minchew and Officer Adam Longoria

Supporting Documents:	
	Meeting Date: 1/12/2016 Department: Police Reviewed by: Chief Steve Moore City Manager Review:

**Background/Analysis:**

Police Officers Adam Longoria and Brandon Minchew responded to a house fire in Hurst on October 9, 2015. The officers determined the resident was in the home and rescued her before she was overcome by smoke.

**Funding and Sources:**

There is no fiscal impact.

**Recommendation:**

Staff recommends the City Council present Officer Brandon Minchew and Officer Adam Longoria with the Life Saving Award for their outstanding performance in the saving of a human life.

**Minutes  
Hurst City Council  
Work Session  
Tuesday, December 8, 2015**

On the 8th day of December 2015, at 5:43 p.m., the City Council of the City of Hurst, Texas, convened in Work Session at Hurst City Hall, 1505 Precinct Line Road, Hurst, Texas, with the following members present:

Richard Ward	)	Mayor
Bill McLendon	)	Mayor Pro Tem
Larry Kitchens	)	Councilmembers
Anna Holzer	)	
Henry Wilson	)	
Nancy Welton	)	
David Booe	)	
Allan Weegar	)	City Manager
John Boyle	)	City Attorney
Allan Heindel	)	Deputy City Manager
Clay Caruthers	)	Assistant City Manager
Jeff Jones	)	Assistant City Manager
Rita Frick	)	City Secretary
Michelle Lazo	)	Managing Director of Development
Ron Haynes	)	Executive Director of Public Works
Greg Dickens	)	City Engineer
Steve Bowden	)	Executive Director of Development
Sunny Patel	)	Information Technology Director
Steve Neikamp	)	Assistant Police Chief

With the following Councilmembers absent: none, constituting a quorum; at which time, the following business was transacted:

**I. Call to Order – The meeting was called to order at 5:43 p.m.**

**II. Informational Items**

- Staff presentation and discussion regarding mixed use zoning – City Manager Allan Weegar noted staff has received interest in mixed use zoning by several developers, and Executive Director of Development Steve Bowden reviewed mixed use possibilities including retail and different types of multifamily. Councilmembers discussed pros and cons to various types of mixed use zoning.

**III. Discussion of Agenda Item(s) 6 and 7**

Conduct a public hearing to consider, SP-15-14 i-Fly Indoor Skydiving, a site plan approval on Lot HR4, Block A, S. Hayworth Addition, being 1.10 acres located at 655 NE Loop 820

Consider Ordinance 2302, first reading, SP-15-14 i-Fly Indoor Skydiving, a site plan approval on Lot HR4, Block A, S. Hayworth Addition, being 1.10 acres located at 655 NE Loop 820

Managing Director of Development Michelle Lazo briefed Councilmembers on SP-15-14 i-Fly Indoor Skydiving, a site plan approval on Lot HR4, Block A, S. Hayworth Addition, being 1.10 acres located at 655 NE Loop 820 and Ordinance 2302.

**IV. Discussion of Agenda Item(s) 8 and 9**

Conduct a public hearing to consider, SP-15-16 Chick-fil-A, a site plan revision for Lot A-2, Block 1, Kmart Plaza Addition, being .95 acre located at 1475 W. Pipeline Road

Consider Ordinance 2307, first reading, SP-15-16 Chick-fil-A, a site plan revision for Lot A-2, Block 1, Kmart Plaza Addition, being .95 acre located at 1475 W. Pipeline Road

Managing Director of Development Michelle Lazo briefed Councilmembers on SP-15-16 Chick-fil-A, a site plan revision for Lot A-2, Block 1, Kmart Plaza Addition, being .95 acre located at 1475 W. Pipeline Road and Ordinance 2307.

Due to time constraints the following items were not discussed in work session.

**V. Discussion of Agenda Item(s) 10**

Consider Ordinance 2306, first reading, concerning the City's Storm Water Management Plan requirements for detection and elimination of illicit discharges and erosion and sediment control during construction and post construction

**VI. Discussion of Agenda Item(s) 11**

Consider authorizing the city manager to award the construction contract to Green Scaping for State Highway 10 Landscaping Project

**VII. Discussion of Agenda Item(s) 12**

Consider authorizing DocuNav Solutions to upgrade the Lasefiche Document Management Software

**VIII. Adjournment - The work session adjourned at 6:24 p.m.**

**APPROVED** this the 12th day of January 2016.

**ATTEST:**

\_\_\_\_\_  
Rita Frick, City Secretary

**APPROVED:**

\_\_\_\_\_  
Richard Ward, Mayor

**City of Hurst  
City Council Minutes  
Tuesday, December 8, 2015**

On the 8th day of December 2015, at 6:30 p.m., the City Council of the City of Hurst, Texas, convened in Regular Meeting at City Hall, 1505 Precinct Line Road, Hurst, Texas, with the following members present:

Richard Ward	)	Mayor
Bill McLendon	)	Mayor Pro Tem
Larry Kitchens	)	Councilmembers
Anna Holzer	)	
Henry Wilson	)	
Nancy Welton	)	
David Booe	)	
Allan Weegar	)	City Manager
John Boyle	)	City Attorney
Clay Caruthers	)	Assistant City Manager
Jeff Jones	)	Assistant City Manager
Rita Frick	)	City Secretary
Greg Dickens	)	City Engineer
Steve Bowden	)	Executive Director of Development
Michelle Lazo	)	Managing Director of Development

With the following Councilmembers absent: none, constituting a quorum; at which time, the following business was transacted:

The meeting was called to order at 6:30 p.m.

Councilmember David Booe gave the Invocation.

The Pledge of Allegiance was given.

**CONSENT AGENDA**

1. Considered approval of the minutes for the November 10 and 16, 2015 City Council meetings.
2. Considered Ordinance 2305, second reading, SP-15-12 The Shops at Hurst Addition, a site plan for Lots 1 – 5, Block 1, Shops at Hurst Addition, being 9.29 acres located at 704-760 W. Pipeline Road.
3. Considered authorizing the city manager to enter into a Purchase Agreement with GT Distributors and Precision Delta Corporation to purchase ammunition for the police department.
4. Considered authorizing the Mayor to execute the Interlocal Agreement with Tarrant County for street right-of-way acquisition on Pipeline Road, Phase 3, from Lorean Branch Channel to Harrison Lane.

5. Considered authorizing the city manager to approve an Annual Miscellaneous Concrete Replacement Contract to Cam-Crete Contracting, Inc., for streets and drainage improvements.

Councilmember Wilson moved to approve the consent agenda. Motion seconded by Councilmember Booe. Motion prevailed by the following vote:

Ayes: Councilmembers McLendon, Booe, Kitchens, Holzer, Wilson and Welton

No: None

### **PUBLIC HEARING(S) AND RELATED ITEM(S)**

6. Conducted a Public Hearing to consider, SP-15-14 i-Fly Indoor Skydiving, a site plan approval on Lot HR4, Block A, S. Hayworth Addition, being 1.10 acres located at 655 N.E. Loop 820.

Mayor Ward announced a public hearing and recognized Kimley Horn representative Holly Monty, 1002 Glencove, Richard, Texas. who reviewed the proposed site plan noting the one story building, 51 parking spaces, screening for equipment and decorative landscaping. Architect Mike Wagdon, Dallas, reviewed site lighting and signage and provided an overview of the wind tunnel operation. Managing Director of Development Michelle Lazo reviewed the proposed plan including elevations, signage, lighting and the proposed business operation.

There being no one else to speak, Mayor Ward closed the public hearing.

In response to Councilmembers' questions, Ms. Lazo noted lighting already exists in the parking lot. Mr. Wagdon advised he did not believe i-Fly will share a sign with LA Fitness. He stated the channel letters on the building were not LED, and were medium density lighting. Mr. Wagdon also reviewed business operations and safety mechanisms in place to ensure safe flights.

7. Considered Ordinance 2302, first reading, SP-15-14 i-Fly Indoor Skydiving, a site plan approval on Lot HR4, Block A, S. Hayworth Addition, being 1.10 acres located at 655 N.E. Loop 820.

Councilmember Welton moved to approve SP-15-14 i-Fly Indoor Skydiving and Ordinance 2302. Motion seconded by Councilmember Kitchens. Motion prevailed by the following vote:

Ayes: Councilmembers McLendon, Booe, Kitchens, Holzer, Wilson and Welton

No: None

8. Conducted a Public Hearing to consider, SP-15-16 Chick-fil-A, a site plan revision for Lot A-2, Block 1, K-mart Plaza Addition, being .95 acre located at 1475 W. Pipeline Road.

Mayor Ward announced a public hearing and recognized applicant Bryan Burger, Burgess Engineering, 17103 Preston, Dallas, Texas, who stated the proposal was to expand the kitchen line. Managing Director of Development Michelle Lazo reviewed the proposed site plan, noting the drive-thru will not change, landscaping will shift to the south and the expanded building will have the same elevation as the existing building. She stated Chick-fil-A was adding the kitchen to make the drive thru faster.

In response to Councilmembers' questions, Mr. Burger stated the restaurant will close during construction.

9. Considered Ordinance 2307, first reading, SP-15-16 Chick-fil-A, a site plan revision for Lot A-2, Block 1, Kmart Plaza Addition, being .95 acre located at 1475 W. Pipeline Road.

Councilmember Holzer moved to approve SP-15-16 Chick-fil-A, a site plan revision for Lot A-2, Block 1, Kmart Plaza Addition and Ordinance 2307. Motion seconded by Councilmember Kitchens. Motion prevailed by the following vote:

Ayes: Councilmembers McLendon, Booe, Kitchens, Holzer, Wilson and Welton  
No: None

#### **ORDINANCE(S)**

10. Considered Ordinance 2306, first reading, concerning the City's Storm Water Management Plan requirements for detection and elimination of illicit discharges and erosion and sediment control during construction and post construction.

Mayor Ward recognized City Manager Allan Weegar who noted this is Executive Director of Public Works Ron Haynes' last City Council meeting before retirement. Mr. Haynes reviewed the proposed ordinance noting another unfunded mandate by the Texas Commission on Environmental Quality (TCEQ). He explained the different implementation phases of the storm water management program, and that the City is currently in Phase II, which requires a program be developed and implemented to detect and eliminate the illicit discharges to the City's storm water system, and control erosion from sites during construction and post construction periods. Mr. Haynes reviewed the proposed ordinance requirements and in response to Councilmembers' questions, he stated staff does not believe costs will be significant, this budget year, as companies are aware of the regulations.

Councilmember Wilson moved to approve Ordinance 2306, concerning the City's Storm Water Management Plan requirements for detection and elimination of illicit discharges and erosion and sediment control during construction and post construction. Motion seconded by Councilmember Kitchens. Motion prevailed by the following vote:

Ayes: Councilmembers McLendon, Booe, Kitchens, Holzer, Wilson and Welton  
No: None

#### **ACTION ITEM(S)**

11. Considered authorizing the city manager to award the Construction Contract to Green Scaping Company for the State Highway 10 Landscaping Project.

Mayor Ward recognized Deputy City Manager Allan Heindel who reviewed the Green Ribbon Landscape Improvement grant process noting this grant is for the three main medians in front of Bell Helicopter. He reviewed the type of plant materials to be utilized in the medians, Bell Helicopter's participation in the project, and noted the total estimated project cost, including contingency, is \$380,244. He stated the TXDOT grant will cover \$370,000, and the City's portion of the project will be \$10,244. In response to Councilmembers' questions, Mr. Heindel stated the medians are in the City of Hurst, and maintenance costs are included in the annual operating budget.

Councilmember McLendon moved to authorize the city manager to award the construction contract to Green Scaping for State Highway 10 Landscaping Project, for an amount not to exceed \$380,244, with funding from the Special Projects Fund. Motion seconded by Councilmember Booe. Motion prevailed by the following vote:

Ayes: Councilmembers McLendon, Booe, Kitchens, Holzer, Wilson and Welton  
No: None

12. Considered authorizing DocuNav Solutions to upgrade the Laserfiche Document Management Software.

Mayor Ward recognized Information Services Director Sunny Patel who briefed Councilmembers on the proposed software upgrade noting the City's Laserfiche Document Management Software has been in place for over 5 years and the vendor recently overhauled the platform and licensing costs. He explained that the current platform is having issues, which are affecting Municipal Court operations. Mr. Patel stated funding would be split between departments, utilizing Laserfiche, for a total cost not to exceed \$38,074. In response to Councilmembers' questions, Mr. Patel stated this is not part of the current budget.

Councilmember Booe moved the City Council authorize DocuNav Solutions to upgrade the City's Laserfiche Document Management Software, in an amount not to exceed \$38,074. Motion seconded by Councilmember McLendon. Motion prevailed by the following vote:

Ayes: Councilmembers McLendon, Booe, Kitchens, Holzer, Wilson and Welton  
No: None

### **OTHER BUSINESS**

13. Councilmembers reviewed the following advisory board meeting minutes:

- HEB Teen Court Advisory Board
- Historical Landmark Preservation Committee
- Library Board (October 20 and November 17, 2015)
- Parks and Recreation Board (October 15 and November 19, 2015)
- Hurst Senior Citizens Advisory Board (October 15 and November 19, 2015)
- Traffic Safety Commission

- Planning and Zoning Commission
14. Review of upcoming calendar items – Councilmembers noted the Senior Citizens’ Banquet will be held Saturday evening.
  15. City Council Reports – No reports were given.

**PUBLIC INVITED TO BE HEARD – A REQUEST TO APPEAR CARD MUST BE COMPLETED AND RETURNED TO THE CITY SECRETARY TO BE RECOGNIZED**

Mayor Ward recognized students in attendance and Kimley Horn representative Kristen Omalike.

Mayor Ward recessed the meeting to Executive Session in compliance with the provisions of the Texas Open Meetings Law, authorized by Government Code, Section 551.071 to consult with City Attorney to seek advice regarding Pending or Contemplated Litigation Settlement Offers (City of Hurst V. Frank) and reconvened Open Session at 8:04 p.m.

16. Take any and all action necessary ensuing from Executive Session

Councilmember Wilson moved to settle the Frank Condemnation Suit, in the amount of \$44,469. Motion seconded by Councilmember Holzer. Motion prevailed by the following vote:

Ayes: Councilmembers McLendon, Booe, Kitchens, Holzer, Wilson and Welton

No: None

**ADJOURNMENT**

The meeting adjourned at 8:05 p.m.

**APPROVED** this the 12th day of January 2016.

**ATTEST:**

**APPROVED:**

\_\_\_\_\_  
Rita L. Frick, City Secretary

\_\_\_\_\_  
Richard Ward, Mayor

City Council Staff Report

SUBJECT: SP-15-14 iFly Indoor Skydiving, a site plan approval on Lot HR4, Block A, S. Hayworth Addition, being 1.10 acres located at 655 NE Loop 820

Supporting Documents:

Ordinance 2302  
 Exhibits provided on first reading

Meeting Date: 1/12/2016  
 Department: Development  
 Reviewed by: Steve Bowden  
 City Manager Review:

Background/Analysis:

An application has been made by Kimley-Horn and Associates, on behalf of iFly Indoor Skydiving, for a site plan approval on Lot HR4, Block A, S. Hayworth Addition, being 1.10 acres located at 655 Northeast (NE) Loop 820. The applicant is requesting the site plan to construct a new iFly Indoor Skydiving venue with 5,724 square feet with a tower that extends up to 35.5 feet in height. The property is zoned OC-PD (Outdoor Commercial Planned Development).

iFly is expanding their presence in the metroplex and has opened in five (5) locations in Texas, with the closest one in Frisco. iFly offers an indoor skydiving experience with no parachute or jumping. A vertical wind tunnel lifts the customer who is wearing a special flight suit. The development is proposed on the vacant lot just south of LA Fitness. There are no proposed changes to access drives, the property will share access with LA Fitness to NE Loop 820 and Glenview Drive.

The building elevation indicates a gray and blue concrete panel and white aluminum structure with EIFS wall accents in a variety of blue, purple, and red tones. There will be red metal panels around the entry doors with storefront glass around the waiting area. The entrance will be on the north side of the building and the mechanical equipment will be on the south side. The equipment area will be screened with a dark and light gray polished CMU block.

The applicant is requesting two (2) building signs on the north elevation, with a total of 282 sq. ft. of sign area, two (2) building signs on the south elevation with 258 sq. ft. of sign area, and one (1) building sign on the east elevation with 242 sq. ft. of sign area.

The applicant is also requesting three (3) flood lights on the east side of the building and two (2) on the north side. These lights will be directed up to highlight the iFly tower.

The applicant is providing good landscaping with four (4) Gingko trees, three (3) Shumard Red Oaks, six (6) Blue Corn Arborvitae, Dwarf Yaupons, White Indian Hawthornes, Dwarf Crape Myrtles, Mexican Feather grass and Zoysia sod.

Funding and Sources:

There is no fiscal impact.

Recommendation:

The Planning and Zoning Commission met on Monday, November 30, 2015, and voted 5-1 to recommend approval of SP-15-14 iFly Indoor Skydiving.

## ORDINANCE 2302

AN ORDINANCE ADOPTING A SITE PLAN APPROVAL FOR FOR LOT HR4 BLOCK A, S. HAYWORTH ADDITION, BEING 1.10 ACRES LOCATED AT 655 NORTHEAST LOOP 820, SP-15-14

WHEREAS, notice of a hearing before the Planning and Zoning Commission was sent to real property owners within 200 feet of the property herein described at least 10 days before such hearing; and,

WHEREAS, notice of a public hearing before the City Council was published in a newspaper of general circulation in Hurst at least 15 days before such hearing; and,

WHEREAS, notices were posted on the subject land as provided by the Zoning Ordinance; and,

WHEREAS, public hearings to change the site plan on the property herein described were held before both the Planning and Zoning Commission and the City Council, and the Planning and Zoning Commission has heretofore made a recommendation concerning the site plan change; and,

WHEREAS, the City Council is of the opinion that the site plan change herein effectuated furthers the purpose of zoning as set forth in the Comprehensive Zoning Ordinance and is in the best interest of the citizens of the City of Hurst.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HURST, TEXAS:

Section 1. THAT the Comprehensive Zoning Ordinance of the City of Hurst is hereby amended by adopting a site plan approval with exhibits A-I for Lot HR4, Block A, S. Hayworth Addition, being 1.10 acres located at 655 Northeast Loop 820.

AND IT IS SO ORDERED.

Passed on the first reading on the 8th day of December 2015 by a vote of 6 to 0.

Approved on the second reading on the 12<sup>th</sup> day of January 2016 by a vote of \_ to \_.

ATTEST:

CITY OF HURST

\_\_\_\_\_  
Rita Frick, City Secretary

\_\_\_\_\_  
Richard Ward, Mayor

Approved as to form and legality:

\_\_\_\_\_  
City Attorney

EXHIBIT A

NORMA LANE  
(50' RIGHT OF WAY)

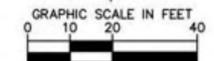
EX. LA FITNESS BUILDING AND PARKING LOT



VICINITY MAP  
(NOT TO SCALE)

LEGEND

- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING STORM SEWER INLET
- PROPOSED ACCESSIBLE PARKING SPACE
- PROPOSED WATER METER
- PROPOSED TRANSFORMER PAD
- BFR PROPOSED BARRIER FREE RAMP
- EXISTING GAS VALVE
- FDC FIRE DEPARTMENT CONNECTION
- PROPOSED STORM SEWER
- PROPOSED WATER TEE
- PROPOSED WATER VALVE
- PROPOSED BACKFLOW PREVENTER
- STORM SEWER MANHOLE
- SANITARY SEWER MANHOLE



SITE DATA TABLE

GENERAL SITE DATA	
ZONING	O-C
ADDRESS	663 NE LOOP 820
LOT AREA	1,1115 AC (48,415 SF)
PARKING AREA	18,935 SF
IMPERVIOUS AREA	5,607 SF
BUILDING DATA	
BUILDING SQUARE FOOTAGE (TOTAL)	5,724 SF
BUILDING HEIGHT	35.50'
PARKING DATA	
REQUIRED PARKING SPACES	1 SPACE / 125 SF GFA = 46 SPACES
STANDARD SPACES PROVIDED	49 SPACES
ACCESSIBLE SPACES PROVIDED	2 SPACES
TOTAL SPACES PROVIDED	51 SPACES

GENERAL NOTES

- PAVEMENT DIMENSIONS AND RADII ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED.
- RADII SHOWN ARE 2' UNLESS OTHERWISE NOTED.
- REFER TO MEP PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- BASIS FOR BEARINGS IS PLAT CALL ALONG THE SOUTH LINE OF LOT H-R-4 IN BLOCK A OF S. HAYWORTH ADDITION, AN ADDITION TO THE CITY OF HURST, TARRANT COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN INSTRUMENT NO. D212225688 OF THE OFFICIAL PUBLIC RECORDS OF TARRANT COUNTY, TEXAS.

LEGAL DESCRIPTION

BEING a part of the SOLOMAN HAYWORTH SURVEY, Abstract No. 710 and being all of Lot H-R-4 in Block A of S. HAYWORTH ADDITION, an addition to the City of Hurst, Tarrant County, Texas according to the plat thereof recorded in Instrument No. D212224588 of the Official Public Records of Tarrant County, Texas and embracing a portion of the tract of land described in the deed to CN Churchill IV, L.L.C., as recorded in Instrument No. D213054331 of said Deed Records and being more particularly described by metes and bounds as follows:

**BEGINNING** at a mark "X" on concrete set for the southeast corner of said Lot H-R-4, the northeast corner of Tract G of S. HAYWORTH ADDITION, an addition to the City of Hurst, Tarrant County, Texas according to the plat thereof recorded in Volume 388-106, Page 43 of the Plat Records of Tarrant County, Texas and being in the west right-of-way line of Northeast Loop 820, a variable width right-of-way.

**THENCE** South 88°02'30" West, along the south line of said Lot H-R-4 and the north line of said Tract G, a distance of 266.63 feet to a mark "X" on concrete set for the southwest corner of said Lot H-R-4, and a southeast corner of Lot H-R-3 in said Block A.

**THENCE** North 1°59'45" East, along the west line of said Lot H-R-4 and an east line of said Lot H-R-3, a distance of 191.23 feet an addition to the City of Hurst, Tarrant County, Texas according to the plat thereof recorded in to a capped 5/8" iron rod set marked "101A" for the northwest corner of said Lot H-R-4, and a re-entrant corner of said Lot H-R-3.

**THENCE** South 87°59'51" East, along the north line of said Lot H-R-4 and a south line of said H-R-3, a distance of 265.95 feet to a capped 5/8" iron rod set marked "101A" for the northeast corner of said Lot H-R-4, the most easterly southeast corner of said Lot H-R-3 and in said west right-of-way line of Northeast Loop 820;

**THENCE** South 1°58'45" West, along the east line of said Lot H-R-4 and said west right-of-way line of Northeast Loop 820, a distance of 172.82 feet to the **POINT OF BEGINNING** and containing 1,1115 acres or 48,415 square feet of land.

BENCHMARKS

COORDINATES SHOWN ARE IN U.S. FEET, N.A.D. 1983, TEXAS NORTH CENTRAL STATE PLANE, ZONE 4202.

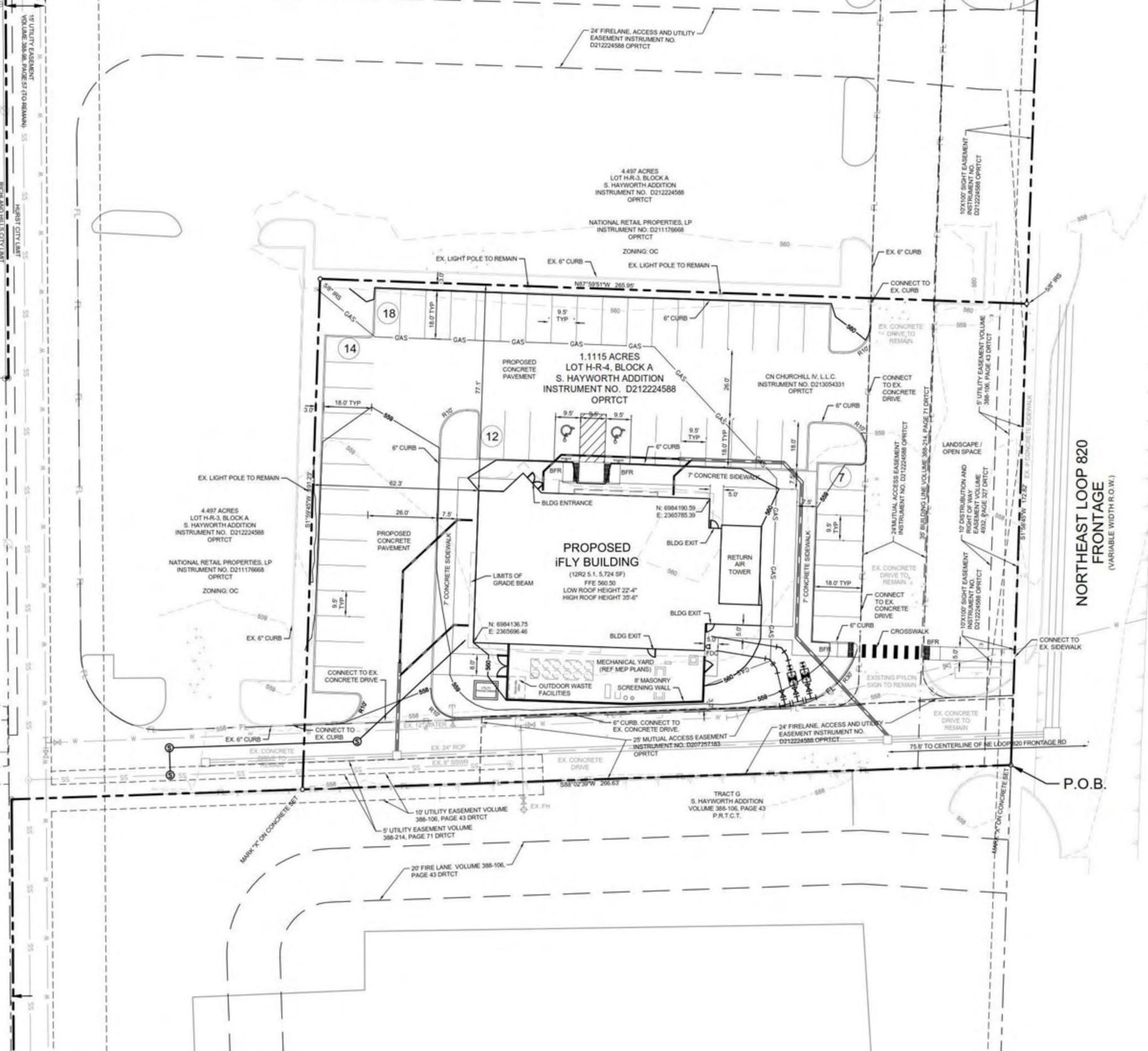
CITY OF HURST STATION #5 STANDARD BRASS CAP IN CONCRETE LOCATED IN THE CONCRETE PARKING LOT OF PUTT PUTT. MARK IS LOCATED WEST OF THE BATTING CAGE APPROXIMATELY 3 FEET WEST OF THE SOUTHWEST CORNER OF THE ASPHALT PAVEMENT

NORTH = 6883337.58  
EAST = 2365435.86  
ELEVATION = 547.92

CITY OF HURST STATION #6 STANDARD BRASS CAP IN CONCRETE LOCATED IN CONCRETE WALK ON WEST SIDE OF SOUTH BOUND SERVICE ROAD FOR LOOP 820, APPROXIMATELY 96 FEET NORTH OF THE CENTERLINE OF THE DRIVE ENTRANCE TO HOLT PLAT OF HURST

NORTH = 6862379  
EAST = 2365962.75  
ELEVATION = 548.77

**STOP!**  
CALL BEFORE YOU DIG  
DIG TESS  
1-800-DIG-TESS  
(@ least 72 hours prior to digging)



IMAGES: SHEET 5, SHEET 6, SHEET 7, SHEET 8, SHEET 9, SHEET 10, SHEET 11, SHEET 12, SHEET 13, SHEET 14, SHEET 15, SHEET 16, SHEET 17, SHEET 18, SHEET 19, SHEET 20, SHEET 21, SHEET 22, SHEET 23, SHEET 24, SHEET 25, SHEET 26, SHEET 27, SHEET 28, SHEET 29, SHEET 30, SHEET 31, SHEET 32, SHEET 33, SHEET 34, SHEET 35, SHEET 36, SHEET 37, SHEET 38, SHEET 39, SHEET 40, SHEET 41, SHEET 42, SHEET 43, SHEET 44, SHEET 45, SHEET 46, SHEET 47, SHEET 48, SHEET 49, SHEET 50, SHEET 51, SHEET 52, SHEET 53, SHEET 54, SHEET 55, SHEET 56, SHEET 57, SHEET 58, SHEET 59, SHEET 60, SHEET 61, SHEET 62, SHEET 63, SHEET 64, SHEET 65, SHEET 66, SHEET 67, SHEET 68, SHEET 69, SHEET 70, SHEET 71, SHEET 72, SHEET 73, SHEET 74, SHEET 75, SHEET 76, SHEET 77, SHEET 78, SHEET 79, SHEET 80, SHEET 81, SHEET 82, SHEET 83, SHEET 84, SHEET 85, SHEET 86, SHEET 87, SHEET 88, SHEET 89, SHEET 90, SHEET 91, SHEET 92, SHEET 93, SHEET 94, SHEET 95, SHEET 96, SHEET 97, SHEET 98, SHEET 99, SHEET 100, SHEET 101, SHEET 102, SHEET 103, 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PROJECT No. 106692055  
DATE: NOVEMBER 2015  
SCALE: AS SHOWN  
DESIGNED BY: HRM  
DRAWN BY: HRM  
CHECKED BY: KSG

**Kimley»Horn**  
12750 MERIT DRIVE, STE 1000  
PHOENIX, AZ 85028  
PHONE: 602-770-1300, FAX: 602-770-5820  
TEXAS REGISTERED ENGINEERING FIRM F-628

STATE OF TEXAS  
KEVIN S. GASKY  
LICENSED PROFESSIONAL ENGINEER  
11/20/15

**iFLY**  
663 NE LOOP 820 HIGHWAY  
CITY OF HURST, TEXAS 76053

**SITE PLAN**

SHEET NUMBER  
**C-02**

DATE  
BY

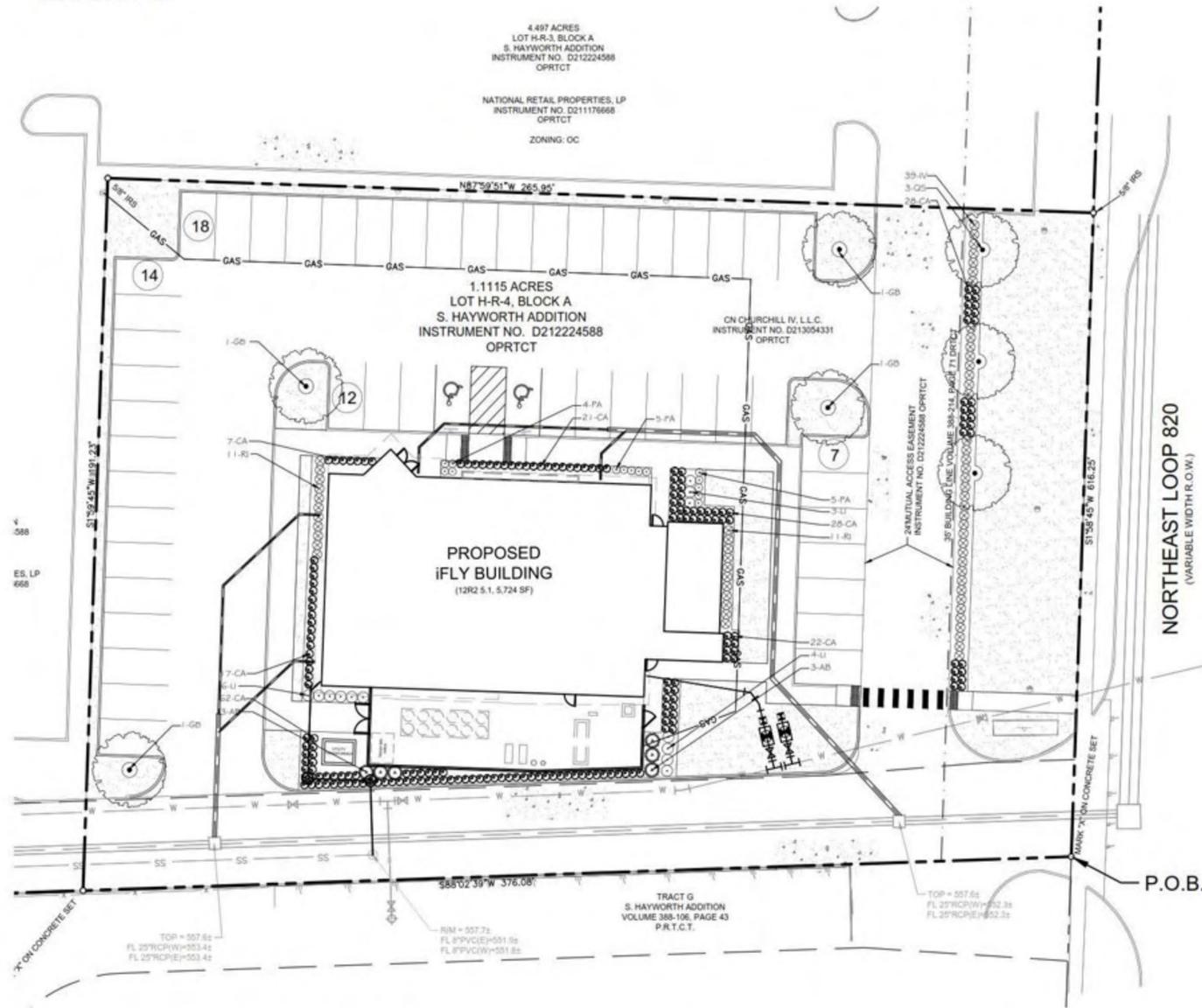
EXHIBIT B

4.497 ACRES  
LOT H-R-3, BLOCK A  
S. HAYWORTH ADDITION  
INSTRUMENT NO. D21224588  
OPRTCT

NATIONAL RETAIL PROPERTIES, LP  
INSTRUMENT NO. D21176668  
OPRTCT  
ZONING: OC

1.1115 ACRES  
LOT H-R-4, BLOCK A  
S. HAYWORTH ADDITION  
INSTRUMENT NO. D21224588  
OPRTCT

PROPOSED  
IFLY BUILDING  
(12R2 5.1, 5.724 SF)



PLANT LIST:

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION	REMARKS
<b>Tree: Deciduous Canopy</b>						
GB	4	Ginkgo (Male)	Ginkgo biloba	3" cal.	B&B/Cont.	Specimen
QS	3	Shumard Red Oak	Quercus shumardi	3" cal.	B&B/Cont.	Specimen
<b>Tree: Conifer</b>						
AB	6	Blue Cone Arborvitae	Arborvitae 'Blue Cone'	6' ht.	B&B/Cont.	Specimen
<b>Shrubs:</b>						
IV	39	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	5 gal./30"	Cont.	Full, Even
RI	22	Snow White Indian Hawthorne	Rhaphiolepis indica 'Snow White'	5 gal./30"	Cont.	Full, Even
LI	13	Dwarf Crape Myrtle	Lagerstroemia indica x fauriei 'Chickasaw'	5 gal./24"	Cont.	Full, Even
<b>Groundcovers: Perennials/Grasses/Groundcovers</b>						
CA	185	Feather Reed Grass	Calamagrostis 'Karl Foerster'	1 gal.	Cont.	Specimen
PA	14	Blue Plumbago	Plumbago auriculata	1 gal.	Cont.	Specimen
SOD		Zeon Zoysia Sod				

GENERAL LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR AND SHALL MAINTAIN THE LANDSCAPING FOR 90 DAYS PAST THE FINAL INSPECTION.
- CONTRACTOR SHALL CONTACT UTILITY LOCATE TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANT OR LANDSCAPE MATERIAL.
- LANDSCAPE CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT PRIOR TO ORDERING PLANT MATERIAL.
- FINAL LOCATION OF ALL PLANTING SHALL BE DETERMINED IN THE FIELD BY THE OWNER'S REPRESENTATIVE.
- NO PLANT MATERIAL WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ANY MODIFICATIONS TO PLANTING LAYOUT, PLANT MATERIALS, ETC. SHALL BE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER PRIOR TO EXECUTION.
- SIZE AND GRADING STANDARDS OF PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF ANSI Z66.1, AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIALS SHALL BE TEXAS NURSERY GROWN STOCK AND SHALL BE FREE OF ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR DISFIGURED/CROOKED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- TREES NOT EXHIBITING A CENTRAL LEADER WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT LIST AS MULTI-STEM.
- CONTRACTOR SHALL PROVIDE ONE YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS UPON WRITTEN ACCEPTANCE OF THE INITIAL PLANTING BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. REPLACEMENT PLANT MATERIALS SHALL ALSO HAVE A ONE YEAR GUARANTEE WHICH COMMENCES UPON INSTALLATION.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE (INCLUDING WATERING) OF PLANT MATERIALS FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PLANT MATERIAL SHALL BE WATERED BY CONTRACTOR UNTIL IRRIGATION SYSTEM IS OPERATIONAL.
- A MINIMUM OF 18" OF LOAM PLANTING SOIL SHALL BE USED WHEN PLANTING ALL TREES (SIDES OF HOLE).
- PLANTS SHALL BE INSTALLED IMMEDIATELY UPON ARRIVAL TO SITE.
- ALL BEDS ADJACENT TO BUILDING PAD SHALL BE MULCHED WITH PREMIUM SHREDDED HARDWOOD BARK MULCH TO A DEPTH OF 4". ALL OTHER BEDS SHALL BE MULCHED AS FOLLOWS:  
14.1. ALL TREES AND SHRUB BEDS SHALL BE MULCHED USING 3-4" OF PREMIUM SHREDDED HARDWOOD BARK MULCH (MULCH SHALL BE PLACED SO THAT IT DOES NOT TOUCH THE TRUNK OF THE PLANT).  
14.1. ALL PERENNIAL AND GROUNDCOVER BEDS NOT ADJACENT TO BUILDING PAD SHALL BE MULCHED USING 2-3" OF PREMIUM SHREDDED HARDWOOD BARK MULCH.
- TREES SHALL BE PLANTED SO THAT THE ROOT CROWN/FLARE IS SET 1-2" ABOVE FINISHED GRADE. DO NOT USE THE EXISTING TOP OF THE ROOT BALL AS AN INDICATION OF THE LOCATION OF THE ROOT BALL.
- CONTRACTOR SHALL REPAIR ALL DAMAGE TO PROPERTY WHICH RESULTS FROM THE PLANTING AND LANDSCAPE INSTALLATION AT NO COST TO THE OWNER.
- APPLY A PRE-EMERGENT HERBICIDE TO ALL PLANTING AREAS, THAT WILL EFFECTIVELY CONTROL BROODLEAF AND GRASSY WEEDS, IMMEDIATELY AFTER PLANTING AND PRIOR TO INSTALLATION OF MULCH.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOODED WITH BUFFALO GRASS BLEND, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

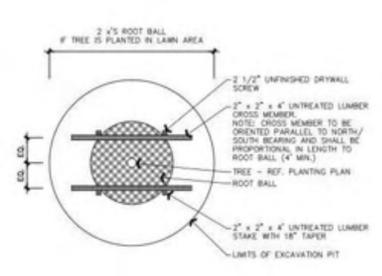
**Kimley»Horn**  
12750 MERIT DRIVE, SUITE 1000  
DALLAS, TEXAS 75221  
PHONE: 972.770.1300 FAX: 972.939.3820  
TEXAS REGISTERED ENGINEERING FIRM F-528

**GOLEND**  
FOR REVIEW ONLY  
Not for construction or permit purposes.  
Landscape Architect: 66000 CAL TEXAS  
P.L.C.#: 2004 Date: 08/19/2015

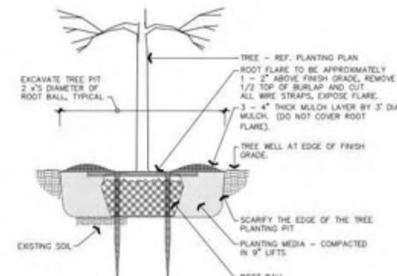
PROJECT No. 16099505  
DATE: SEPTEMBER 2015  
SCALE: AS SHOWN  
DESIGNED BY: MLK  
DRAWN BY: MLK  
CHECKED BY: MLK

**iFLY**  
663 NE LOOP 820 HIGHWAY  
CITY OF HURST, TEXAS 76053

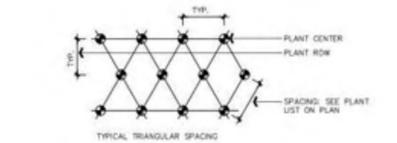
**LANDSCAPE PLAN**  
SHEET NUMBER  
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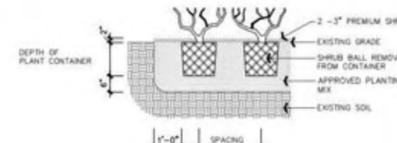
01 TYPICAL TREE STAKING - PLAN  
NTS



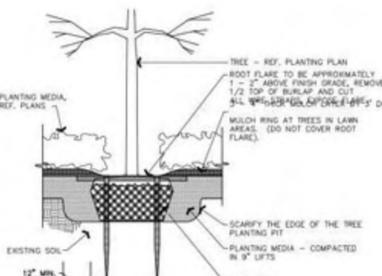
02 TREE PLANTING IN LAWN - SECTION  
NTS



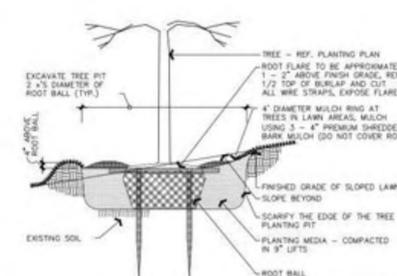
05 PLANT SPACING - PLAN  
NTS



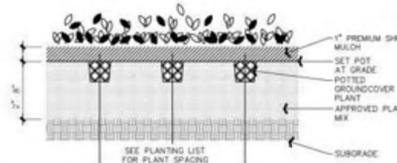
06 SHRUB PLANTING - SECTION  
NTS



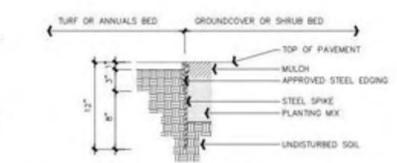
03 TREE PLANTING IN PLANTER - SECTION  
NTS



04 TREE PLANTING ON SLOPE - SECTION  
NTS



07 GROUNDCOVER PLANTING - SECTION  
NTS



08 STEEL EDGING - SECTION  
NTS

LANDSCAPE LEGEND:

- SCODED BUFFALO GRASS TURF BLEND
- DECIDUOUS CANOPY TREE (TYP.)
- ORNAMENTAL TREE (TYP.)
- EVERGREEN TREE (TYP.)

LANDSCAPE REQUIREMENTS:

- LANDSCAPE REQUIRED:**
- PARKING LOT SCREENING: 30 FT. SCREENING ALONG PARKING AREAS ON PUBLIC STREET
  - PARKING LOT TREES: 1 TREE PER 20 PARKING SPACES (5) SPACES = 3 TREES
- LANDSCAPE PROVIDED:**
- 30 FT. SCREENING ALONG FRONTAGE 60 SHRUBS
  - PARKING LOT TREES: 4 TREES

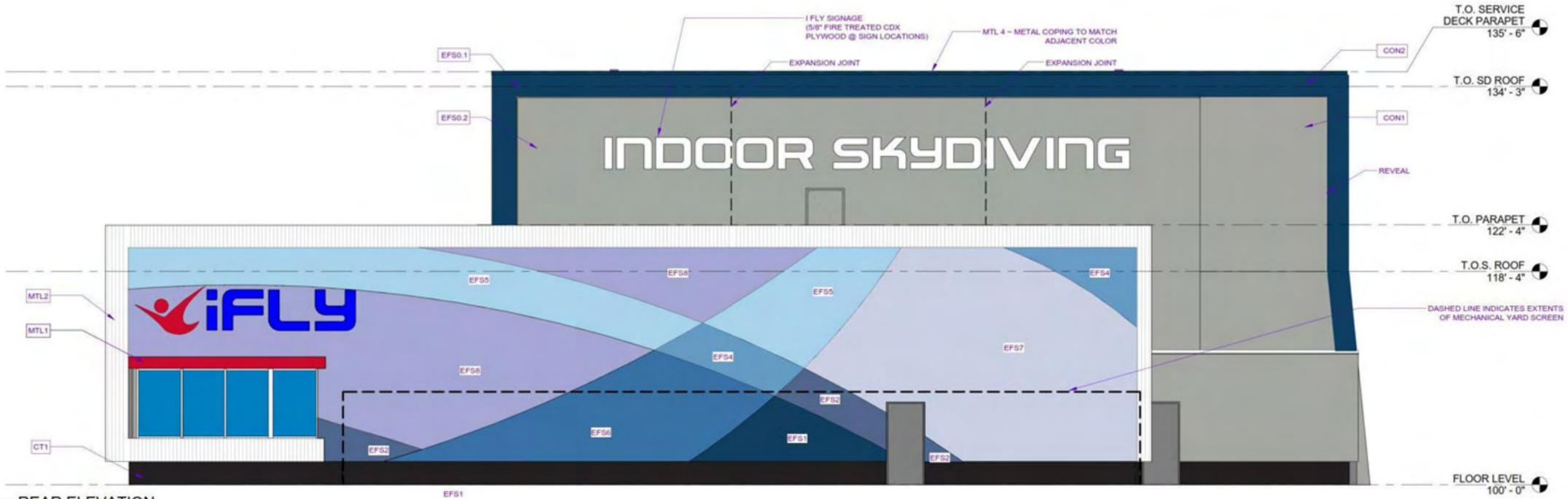
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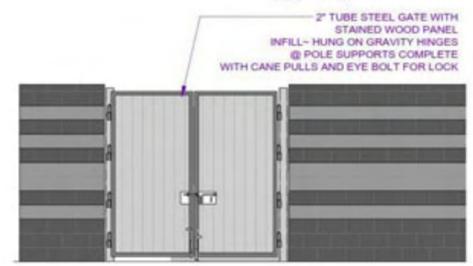


EXHIBIT D

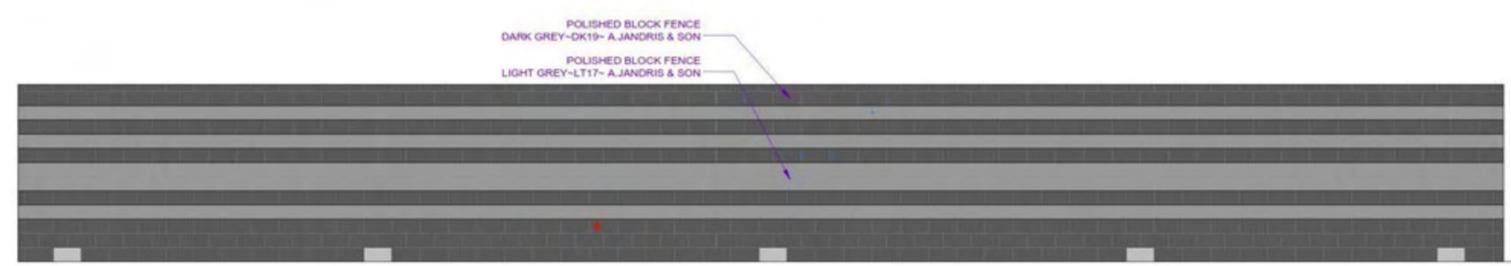
FINISH SCHEDULE - BUILDING EXTERIOR						
TAG	DESCRIPTION	PRODUCT	COLOR/FINISH	MFR / VENDOR	CONTACT	NOTES
<b>[CON] CONCRETE</b>						
CON1	PRECAST CONCRETE PANEL PAINTED	BY ARCH./GC	SW 7066 - GRAY MATTERS			
CON2	PRECAST CONCRETE PANEL PAINTED	BY ARCH./GC	SW 6510 LOYAL BLUE			
<b>[CT] CERAMIC / PORCELAIN TILE</b>						
CT1	TILE CLADDING @ FAÇADE WAINSCOT	URBATECK, CO31, 24"X24"	PURE BLACK, NATURE	PORCELANOSA	SARA BUCK, 303-513-4708	GROUT: CUSTOM BLDG. PRODUCTS, #60 CHARCOAL GROUT SEALANT: BY ARCH.
<b>[EFS] EIFS</b>						
EFS 0.1	EIFS @ MECH. STRUCTURE	DRYVIT ESR-1543; IFLY 011022S ESR-2562; NAC71978	PAREX	SW 7066 - GRAY MATTERS		MATCH [CON1]
EFS 0.2	EIFS @ MECH. STRUCTURE	DRYVIT ESR-1543; IFLY 211022S ESR-2562; NAC74041	PAREX	SW 6510 LOYAL BLUE		MATCH [CON2]
EFS1	EIFS @ BLDG. FAÇADE	DRYVIT ESR-1543; IFLY 031022S ESR-2562; NAC74041	PAREX	SW 6510 - LOYAL BLUE		SEE EXTERIOR ELEVATIONS FOR COLOR LOCATIONS
EFS2	EIFS @ BLDG. FAÇADE	DRYVIT ESR-1543; IFLY 031022S ESR-2562; NAC74040	PAREX	SW6530 - REVEL BLUE		
EFS3	EIFS @ BLDG. FAÇADE	DRYVIT ESR-1543; IFLY 041022S ESR-2562; NAC71981	PAREX	SW6816 DHALIA		
EFS4	EIFS @ BLDG. FAÇADE	DRYVIT ESR-1543; IFLY 051022S ESR-2562; NAC74045	PAREX	SW6802 JACARANDA		
EFS5	EIFS @ BLDG. FAÇADE	DRYVIT ESR-1543; IFLY 061022S ESR-2562; NAC72023	PAREX	SW6792 BLUE BELL		
EFS6	EIFS @ BLDG. FAÇADE	DRYVIT ESR-1543; IFLY 071022S ESR-2562; NAC74042	PAREX	SW6803 DAN UBE		
EFS7	EIFS @ BLDG. FAÇADE	DRYVIT ESR-1543; IFLY 081022S ESR-2562; NAC74043	PAREX	SW6814 BREATHTAKING		
EFS8	EIFS @ BLDG. FAÇADE	DRYVIT ESR-1543; IFLY 091022S ESR-2562; NAC7404	PAREX	SW6969 INDULGENT		
<b>[MTL] METAL</b>						
MTL1	ALUMINUM COMPOSITE METAL		RED, SMOOTH	METAL DESIGN SYSTEMS		INSTALL AT CANOPY AND WALL CLADDING
MTL2	MORIN BUTTON PANELS	VERTICAL METAL PANELS	IMPERIAL WHITE	MORIN		
<b>[STF] STOREFRONT SYSTEM</b>						
STF1	STOREFRONT @ MAIN ENTRY	BY ARCH.	FRAME: ANODIZED ALUMINUM GLAZING: CLEAR VISION	FRAME: BY ARCH. GLAZING: BENHEIM OR SIMILAR		
STF2	STOREFRONT @ CONF. RM. EXT.		FRAME: ANODIZED ALUMINUM GLAZING: CLEAR VISION			
<b>[STN] STONE / MASONRY</b>						
STN1	DARK CMU @ MECH YARD	SMOOTH FACE BLOCKS OR SIMILAR 8X8X16	DK 19 / SMOOTH FACE	A.JANDRIS & SONS	TEL.978-632-0089	
STN2	LIGHT CMU @ MECH YARD	SMOOTH FACE BLOCKS OR SIMILAR 8X8X16	LT 17 / SMOOTH FACE	A.JANDRIS & SONS	TEL.978-632-0089	



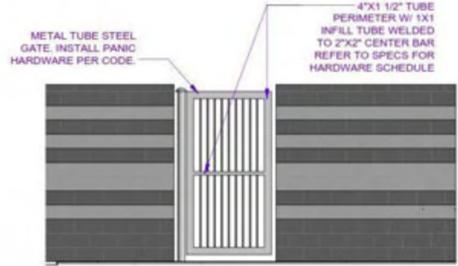
1 REAR ELEVATION  
3/16" = 1'-0"



2 CMU FENCE ELEVATION  
1/4" = 1'-0"



3 CMU FENCE ELEVATION  
1/4" = 1'-0"



4 CMU FENCE ELEVATION @ EXIT GATE  
1/4" = 1'-0"

**IFLY INDOOR SKYDIVING**  
HURST - FT. WORTH

**iFLY TX**  
HURST  
12R2

SkyGroup Investments, LLC  
6034 West Courtyard Drive, Ste. 135  
Austin, Texas 78730  
512.674.9200 Phone  
512.534.6065 Fax

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13642 Omega, Dallas, TX 75244

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

Project Number:  
15077-01

Drawn By: TF Checked By: MW

ISSUE LOG		
No	Description	Date

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**AB.2**  
EXTERIOR ELEVATIONS











City Council Staff Report

SUBJECT: SP-15-16 Chick-fil-A, a site plan revision for Lot A-2, Block 1 K-mart Plaza Addition, being .95 acre located at 1475 W. Pipeline Road

Supporting Documents:

Ordinance 2307  
 Exhibits provided on first reading

Meeting Date: 1/12/2016  
 Department: Development  
 Reviewed by: Steve Bowden  
 City Manager Review:

Background/Analysis:

An application has been made by Burger Engineering on behalf of Chick fil-A for a site plan revision on Lot A-2, Block 1, K-mart Plaza Addition, being .95 acre located at 1475 W. Pipeline Road. The property is zoned GB-PD (General Business Planned Development).

The site plan is being requested to add 572 square feet to the kitchen area on the north side of the building. There are no changes to access or drive lanes.

The building materials will match the existing beige and Latte stucco with stone veneer around the base of the building. There are no changes in signage requested.

The applicant will be relocating existing landscaping by adding 17 Dwarf Burford Hollies, 12 Dwarf Yaupons, 11 Red Yucca, seasonal color, Bermuda sod, and river rocks.

Funding and Sources:

There is no fiscal impact.

Recommendation:

The Planning and Zoning Commission met on Monday, November 16, 2015 and voted 5-0 to recommend approval of SP-15-16 Chick-fil-A.

ORDINANCE 2307

AN ORDINANCE ADOPTING A SITE PLAN APPROVAL FOR FOR LOT A-2 BLOCK 1 K-MART PLAZA ADDITION, BEING .95 ACRE LOCATED AT 1475 W. PIPELINE ROAD, SP-15-16

WHEREAS, notice of a hearing before the Planning and Zoning Commission was sent to real property owners within 200 feet of the property herein described at least 10 days before such hearing; and,

WHEREAS, notice of a public hearing before the City Council was published in a newspaper of general circulation in Hurst at least 15 days before such hearing; and,

WHEREAS, notices were posted on the subject land as provided by the Zoning Ordinance; and,

WHEREAS, public hearings to change the site plan on the property herein described were held before both the Planning and Zoning Commission and the City Council, and the Planning and Zoning Commission has heretofore made a recommendation concerning the site plan change; and,

WHEREAS, the City Council is of the opinion that the site plan change herein effectuated furthers the purpose of zoning as set forth in the Comprehensive Zoning Ordinance and is in the best interest of the citizens of the City of Hurst.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HURST, TEXAS:

Section 1. THAT the Comprehensive Zoning Ordinance of the City of Hurst is hereby amended by adopting a site plan approval with exhibits A-D for Lot A-2, Block 1, K-Mart Plaza Addition, being .95 acre located at 1475 W. Pipeline Road.

AND IT IS SO ORDERED.

Passed on the first reading on the 8th day of December 2015 by a vote of \_ to \_ .

Approved on the second reading on the 12<sup>th</sup> day of January 2016 by a vote of \_ to \_.

ATTEST:

CITY OF HURST

\_\_\_\_\_  
Rita Frick, City Secretary

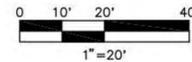
\_\_\_\_\_  
Richard Ward, Mayor

Approved as to form and legality:

\_\_\_\_\_  
City Attorney

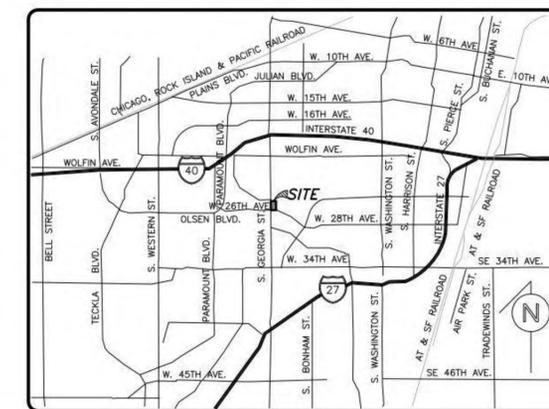
EXHIBIT A

**WEST PIPELINE ROAD**  
(VARIABLE WIDTH RIGHT-OF-WAY)



LEGEND

- F.H. FIRE HYDRANT
- X SET CHISELED "X" SET
- F.I.R. IRON ROD FOUND (SIZE AS NOTED)
- S.I.R. IRON ROD SET (SIZE AS NOTED)
- O.V. OVERHEAD UTILITY POLE W/ GUY
- U.E. UNDERGROUND ELECTRIC OR TELEPHONE
- L.P. LIGHT POLE
- S.S.M.H. SANITARY SEWER MANHOLE
- C.O. SAN. SWR. CLEAN OUT
- G.V. GAS VALVE
- W.V. WATER VALVE
- T. TREE
- M.H. MANHOLE (TYPE AS NOTED)
- S.B. SIG. BOX TRAFFIC SIGNAL BOX
- T.B. TRANS. ELECTRIC TRANSFORMER BOX
- T. TOWER ELECTRIC TRANSMISSION STEEL TOWER
- C.M. CABLE UNDERGROUND CABLE MARKER



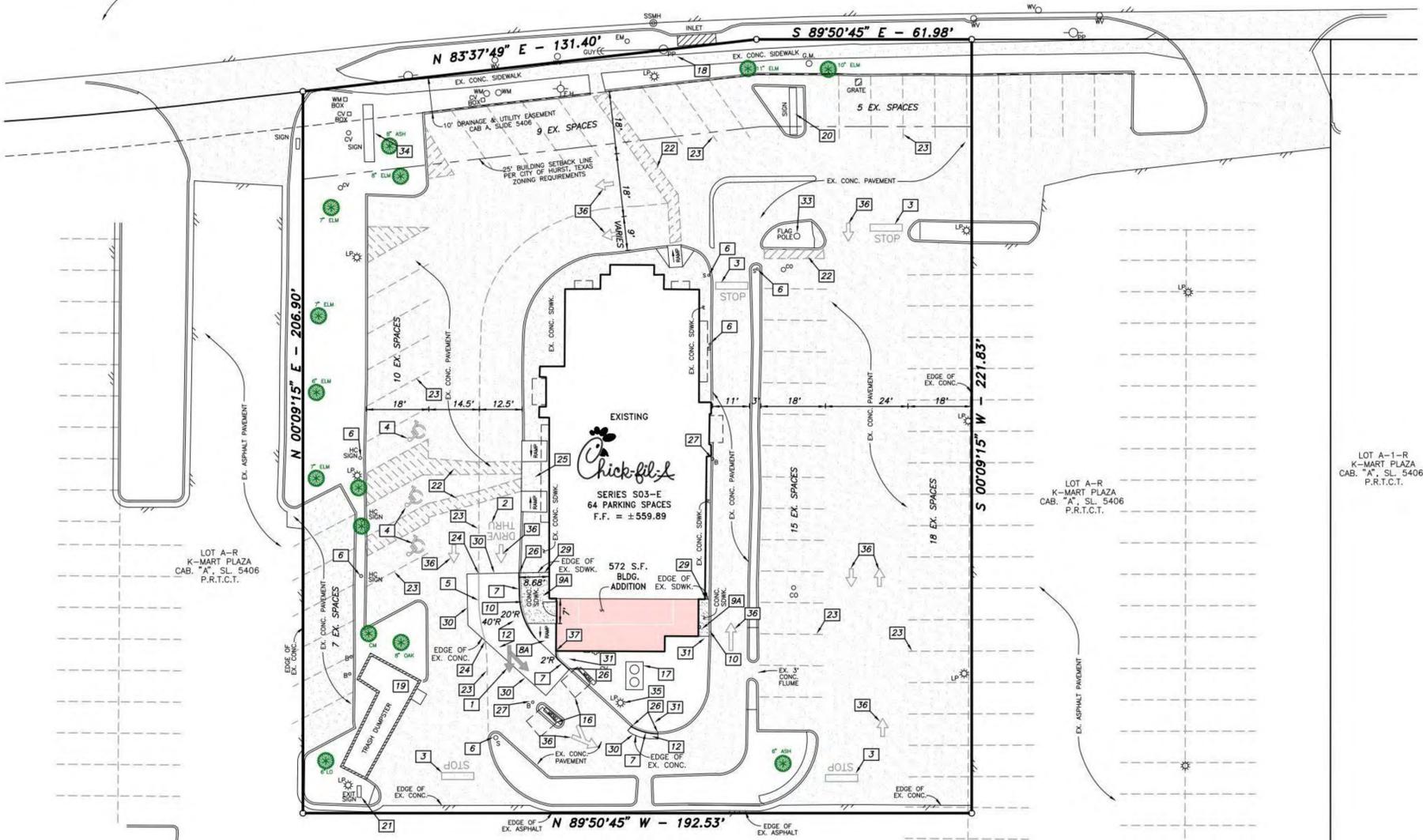
VICINITY MAP  
N.T.S.

LAYOUT NOTES

- 1 PAINTED TRAFFIC ARROW
- 2 EX. DRIVE THRU STRIPING
- 3 EX. STOP BAR
- 4 EX. PAINTED HANDICAP PARKING SYMBOL
- 5 PARKING STALLS / 4" PAINTED STRIPE
- 6 EX. DIRECTIONAL SIGNAGE
- 7 INTEGRAL CONCRETE CURB
- 8 CURBED RAMP "A" FLARED SIDES  
"B" SHORT FLARED SIDES
- 9 TYPICAL SIDEWALK DETAIL "A" - PICTURE FRAME PATTERN  
"B" - BROOM FINISH
- 10 SIDEWALK ADJACENT TO CURB
- 11 ASPHALT PAVEMENT SECTION (NOT USED)
- 12 CONCRETE PAVEMENT
- 13 1" CURB OPENING (NOT USED)
- 14 CONTRACTION JOINT (SEE SHEET C-6)
- 15 CONSTRUCTION JOINT (SEE SHEET C-6)
- 16 EX. MENU BOARD AND CANOPY ORDERING STATION
- 17 GREASE TRAP
- 18 EX. POLE MOUNTED TRANSFORMER
- 19 EX. DUMPSTER/STORAGE AREA W/SCREENING
- 20 EX. CHICK-FIL-A PRIME SIGN
- 21 EX. CHICK-FIL-A ENTER/EXIT SIGN
- 22 EX. STRIPING
- 23 EX. PARKING STALLS / 4" PAINTED STRIPE
- 24 MATCH EX. STRIPING
- 25 EX. CHICK-FIL-A MAIN ENTRY HANDICAP RAMP
- 26 MATCH LOCATION & ELEVATION OF EX. CURB
- 27 EX. PROTECTIVE BOLLARD
- 28 1" WIDE MOUNTABLE CURB (NOT USED)
- 29 MATCH EX. CONCRETE SIDEWALK
- 30 MATCH EX. CONCRETE PAVEMENT
- 31 REPAIR EX. SOD & IRRIGATION
- 32 SOLID PLASTIC WHEEL STOP (NOT USED)
- 33 EX. FLAG POLE
- 34 EX. SHOPPING CENTER SIGN
- 35 EX. LIGHT POLE
- 36 EX. TRAFFIC ARROW
- 37 END CURB @ BLDG.

NOTES

1. ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHICK-FIL-A SPECIFICATIONS AND/OR CITY STANDARD SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.
2. ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENT SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS.
3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
5. IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.
6. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
7. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
8. ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
9. ALL PARKING STALLS SHALL BE STRIPED IN ACCORDANCE W/APPLICABLE GOVERNING AUTHORITIES.



SITE DATA	
ZONING:	PD-G8 (GENERAL BUSINESS)
LOT AREA:	0.9381 ACRES (41,734 S.F.)
PROPOSED USE:	DINE IN & DRIVE THRU RESTAURANT
EX. BUILDING AREA:	3,931 S.F.
BUILDING ADDITION:	572 S.F.
TOTAL BUILDING AREA:	4,503 S.F.
F.A.R.:	0.11:1
TOTAL SEATING:	152 SEATS
PARKING REQUIRED:	1 SPACE FOR EVERY 75 S.F. (4,503/75 = 60 SPACES)
PARKING PROVIDED:	64 SPACES (3 H.C.)
BUILDING HEIGHT:	24' (1 STORY)
LANDSCAPE PROVIDED:	6,326 S.F. (15.16%)

**APPLICANT:**  
CHICK-FIL-A, INC.  
5200 BUFFINGTON ROAD  
ATLANTA, GEORGIA 30349  
PHONE: (404) 765-8000  
CONTACT: TODD WILLIAMS

**ENGINEER:**  
BURGER ENGINEERING, LLC  
17103 PRESTON ROAD, SUITE 180N  
TEXAS REGISTERED ENGINEERING FIRM F-12997  
DALLAS, TEXAS 75248  
PHONE: (972) 630-3360  
CONTACT: BRYAN M. BURGER, P.E.



VERTICAL DATUM NOTE:  
REFERENCE DATUM = STATE PLANE COORDINATE (4202 TEXAS NORTH CENTRAL ZONE) REFERENCE FRAME NORTH AMERICAN DATUM (NAD) 83(2011)  
SITE BENCHMARK NO. 1 = CENTER OF SWB MANHOLE LOCATED IN THE WEST PIPELINE ROAD RIGHT-OF-WAY APPROXIMATELY 61 FEET NORTHEAST OF THE NORTHWEST PROPERTY CORNER.  
ELEVATION = 558.60'  
SITE BENCHMARK NO. 2 = CENTER OF WATER VALVE FOUND IN THE WEST PIPELINE ROAD RIGHT-OF-WAY LOCATED 8 FEET NORTH OF THE NORTHWEST PROPERTY CORNER.  
ELEVATION = 556.61'

**BURGER ENGINEERING**  
Civil Consultants

17103 Preston Road, Suite 180N  
Dallas, Texas 75248  
Office: 972.630.3360 Fax: 972.630.3380  
TBPE F-12997



5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:  
Mark Date By

Mark Date By

Mark Date By

14475 WEST PIPELINE ROAD  
PART OF LOT A-R  
K-MART PLAZA ADDITION  
CITY OF HURST, TEXAS

STORE  
SERIES  
S03-E  
(MODIFIED)

SHEET TITLE  
**SITE PLAN**

For Permit  
 For Bid  
 For Construction

Job No. : 013-164  
Store : 01741  
Date : 09/01/15  
Drawn By : JAC  
Checked By: BMB

Sheet

**C-3**



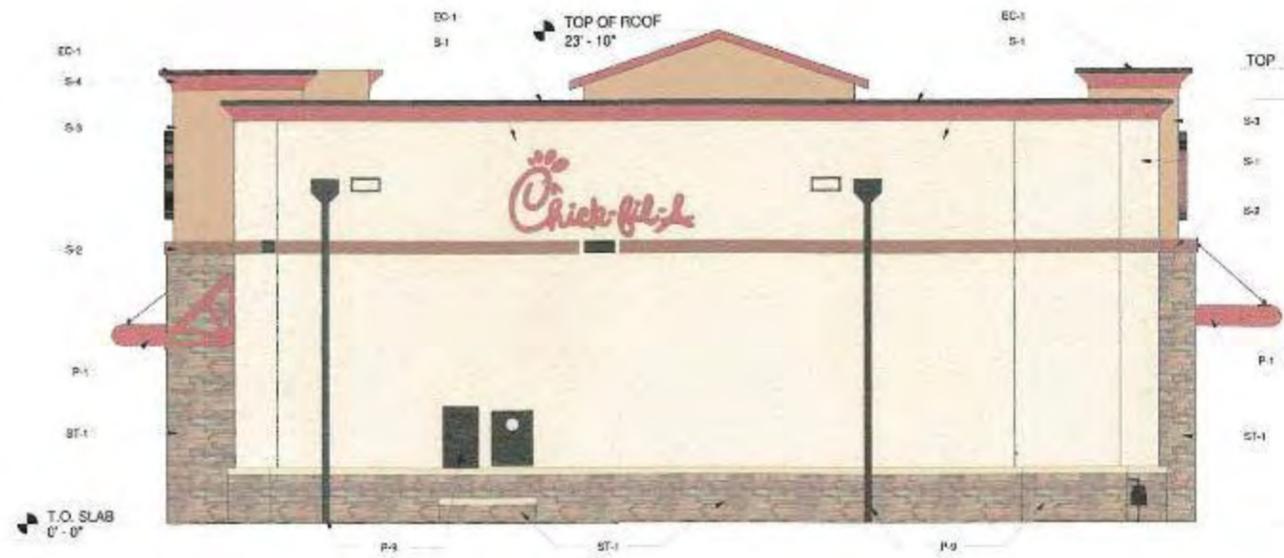


# EXHIBIT D

## 4 EXTERIOR FINISH SCHEDULE

ST-1	STONE GLAZED/BO STONE SANDWICH RUMBLE LOGS	S-1	STUCCO TO MATCH SHIPWAY WILLIAMS #2093A "LATEX"
R-1	HICKORY 1/2" x 4" BOARD RANDOM GRADE STANDARD SIZE CONCRETE ROOF TIE-IN - DARK BROWN STAIN	S-4	STUCCO TO MATCH SHIPWAY WILLIAMS #2093A "LATEX" #48482E "SAFETY RED"
EC-1	EXTERIOR WALL COATING POLYURETHANE EXTERIOR FINISH COLOR - DARK BRONZE #401119	PT-1	EXTERIOR PAINT TO MATCH SHIPWAY WILLIAMS #2093A "LATEX" #48482E "SAFETY RED"
S-1	STUCCO TO MATCH SHIPWAY WILLIAMS #2093A "LATEX" #48482E "SAFETY RED"	PT-2	EXTERIOR PAINT MISCELLANEOUS METALS SHIPWAY WILLIAMS #2093A "LATEX" #48482E "SAFETY RED" #48482E "SAFETY RED" COLOR - DARK BRONZE SEMI GLOSS FINISH
S-2	STUCCO TO MATCH SHIPWAY WILLIAMS #2093A "LATEX" #48482E "SAFETY RED"		

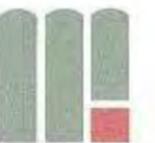
REVISIONS:  
1. REVISION TO SHEETS A-1 & A-2 FOR WINDING TYPES AND CORRESPONDING FINISH



WEST ELEVATION (REAR)



EAST ELEVATION (FRONT)



City Council Staff Report

SUBJECT: Consider approval of Ordinance 2306 concerning detection and elimination of illicit discharges to the storm water system, implementation of erosion and sediment control best management practices during construction, and post construction activities, and establishment of legal authority to carry out inspections and procedures necessary to ensure compliance with this ordinance

Supporting Documents:

Ordinance 2306

Meeting Date: 1/12/2016  
 Department: Public Works  
 Reviewed by: Ron Haynes  
 City Manager Review:

Background/Analysis:

The U.S. Environmental Protection Agency (EPA) issued regulations in 1999 to protect storm water quality in urbanized areas throughout the United States. The Texas Commission on Environmental Quality (TCEQ) was delegated the responsibility of implementing the regulations for the Phase II Storm Water Program and finalized a General Permit Number TXR040000 on August 13, 2007. TCEQ updated and reissued General Permit No. TXR040000 in December 2013. The Hurst City Council approved Resolution 1441 on January 22, 2008, and Resolution 1593 on June 10, 2014, establishing and updating the City's Storm Water Management Plan, in accordance with state and federal regulations. The City of Hurst's Storm Water Management Plan requires a program be developed and implemented to detect and eliminate the illicit discharges to the City's storm water system and control erosion from sites during construction and post construction periods.

This ordinance has the following objectives:

- A. To regulate the contribution of pollutants to the municipal separate storm sewer system (MS4) by storm water discharges by any user,
- B. To prohibit illicit connections and discharges to the municipal separate storm sewer system,
- C. To require implementation of appropriate erosion and sediment control best management practices (BMP's) for land disturbance activities during construction and post construction, and
- D. To establish legal authority to carry out all inspection, surveillance and monitoring procedures necessary to ensure compliance with this ordinance.

Funding and Sources:

The requirements of this ordinance will generate additional workload for staff. Unfunded Federal mandates contained in these ordinances may require additional operational expenditures in the near future.

Recommendation:

Staff recommends that the City Council approve Ordinance 2306 concerning the City's Storm Water Management Plan requirements for detection and elimination of illicit discharges and erosion and sediment control during construction and post construction.

## ORDINANCE 2306

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF HURST, TEXAS, CONCERNING DETECTION AND ELIMINATION OF ILLICIT DISCHARGES TO THE STORM WATER SYSTEM, IMPLEMENTATION OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES DURING CONSTRUCTION AND POST CONSTRUCTION ACTIVITIES, AND ESTABLISHMENT OF LEGAL AUTHORITY TO CARRY OUT INSPECTIONS AND PROCEDURES NECESSARY TO ENSURE COMPLIANCE WITH THIS ORDINANCE; PROVIDING A SAVING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY; AUTHORIZING PUBLICATION; AND ESTABLISHING AN EFFECTIVE DATE

WHEREAS, the U.S. Environmental Protection Agency (EPA) issued regulations in 1999 to protect storm water quality in urbanized areas throughout the United States; and,

WHEREAS, the Texas Commission on Environmental Quality (TCEQ) was delegated the responsibility for implementing the regulations for the Phase II Storm Water Program and finalized a General Permit Number TXR040000 on August 13, 2007, and updated and reissued General Permit No. TXR040000 in December 2013; and,

WHEREAS, the City Council of the City of Hurst, Texas approved Resolution 1441 on January 22, 2008 and Resolution 1593 on June 10, 2014, establishing and updating the City's Storm Water Management Plan in accordance with State and Federal regulations; and,

WHEREAS, the City of Hurst's Storm Water Management Plan requires a program be developed and implemented to detect and eliminate the illicit discharges to the City's storm water system; and

WHEREAS, the City Council of the City of Hurst, Texas has deemed it necessary and in the best interest of the citizens of Hurst and the region to adopt said ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HURST, TEXAS:

Section 1. THAT, the above findings are hereby found to be true and correct and are incorporated herein in their entirety.

Section 2. THAT, the City of Hurst Code of Ordinances is hereby amended, by adding the following:

## I. Purpose/Intent.

The purpose of this ordinance is to provide for the health, safety, and general welfare of the citizens of the City of Hurst through the regulation of non-storm water discharges to the storm drainage system to the maximum extent practicable as required by federal and state law. This ordinance establishes methods for controlling the introduction of pollutants into the municipal separate storm sewer system (MS4) in order to comply with requirements of the Texas Pollutant Discharge Elimination System (TPDES) permit process. The objectives of this ordinance are:

- A. To regulate the contribution of pollutants to the municipal separate storm sewer system (MS4) by storm water discharges by any user.
- B. To prohibit illicit connections and discharges to the municipal separate storm sewer system.
- C. To require implementation of appropriate erosion and sediment control best management practices (BMP's) for land disturbance activities during construction and post construction.
- D. To establish legal authority to carry out all inspection, surveillance and monitoring procedures necessary to ensure compliance with this ordinance.

## II. Definitions.

For the purposes of this ordinance, the following shall mean:

**Accelerated Erosion:** Means erosion caused by development activities that exceeds the natural processes by which the surface of land is worn away by the action of water, wind, or chemical action.

**Applicant:** Means a property owner agent of a property owner or agent of a property owner who submits an application for a storm water management permit pursuant to this ordinance.

**Authorized enforcement agency:** Means the City of Hurst acting through the City Manager or his designees.

**Best Management Practices (BMPs):** schedules of activities, prohibitions of practices, general good housekeeping practices, pollution prevention and educational practices, maintenance procedures, and other management practices to prevent or reduce the discharge of pollutants directly or indirectly to stormwater, receiving waters, or stormwater conveyance systems. BMPs also include treatment practices, operating procedures, and practices to control site runoff, spillage or leaks, sludge or water disposal, or drainage from raw materials storage.

**Building:** Means any structure, either temporary or permanent, having walls and a roof, designated for the shelter of any person, animal, or property, and occupying more than 100 square feet of area.

**Channel:** Means a natural or artificial watercourse with a definite bed and banks that conducts continuously or periodically flowing water.

**City:** Means City of Hurst, Texas.

**Clean Water Act.** The federal Water Pollution Control Act (33 U.S.C. §1251 et seq.), and any subsequent amendments thereto.

**Clearing:** Any activity that removes the vegetative surface cover.

**Construction activities subject to TPDES construction permits:** TPDES Storm Water Phase II permits are required for construction projects resulting in land disturbance of one acre or more. Such activities include but are not limited to clearing, grading, excavating, and demolition.

**Dedication:** Means the deliberate appropriation of property by its owner for general public use.

**Detention Facility:** Means a detention basin or alternative structure designed for the purpose of temporary storage of stream flow or surface runoff and gradual release of stored water at controlled rates.

**Detention:** Means the temporary storage of storm runoff in a storm water management practice with the goals of controlling peak discharge rates and providing gravity settling of pollutants.

**Developer:** Any person, firm, corporation, sole proprietorship, partnership, state agency, or political subdivision thereof engaged in a land disturbance activity.

**Drainage Easement:** Means a legal right granted by a landowner to a grantee allowing the use of private land for storm water management purposes.

**Drainage way:** Any channel that conveys surface runoff throughout the site.

**Erosion and sediment control plan:** A plan or set of plans which includes a set of best management practices (BMP) or equivalent measures prepared by a licensed engineer indicating the specific measures and sequencing to be used to control surface runoff and erosion and to retain sediment on a particular site during the period in which pre-construction and construction related land disturbances, fills and soil storage occur and before final improvements are completed, all in accordance with the specific requirements set forth in this ordinance.

**Erosion Control:** A measure that prevents erosion.

**Excavation:** The mechanical removal of earth material.

**Fee in Lieu:** Means a payment of money in place of meeting all or part of the storm water performance standards required by this ordinance.

**Fill:** A deposit of soil or other earth materials placed by artificial means.

**Final erosion and sediment control plan (final plan):** The erosion and sediment control plan approved by the city which includes permanent measures and best management practices (BMP) to control surface runoff and control sediment if not included in the erosion and sediment plan.

**Grade:** The vertical location of the ground surface. Existing grade is the grade prior to grading. Rough grade is the stage at which the grade approximately conforms to the approved plan. Finish grade is the final grade of the site which conforms to the approved plan.

**Grading:** Excavation of fill of material, including the resulting conditions thereof.

**Hazardous Materials.** Any material, including any substance, waste, or combination thereof, which because of its quantity, concentration, or physical, chemical, or infectious characteristics may cause, or significantly contribute to, a substantial present or potential hazard to human health, safety, property, or the environment when improperly treated, stored, transported, disposed of, or otherwise managed.

**Hotspot:** Means an area where land use or activities generate highly contaminated runoff, with concentrations of pollutants in excess of those typically found in storm water.

**Hydrologic Soil Group (HSG):** Means a Natural Resource Conservation Service classification system in which soils are categorized into four runoff potential groups. The groups range from A solids, with high permeability and little runoff production, to D soils, which have low permeability rates and produce much more runoff.

**Illegal Discharge.** Any direct or indirect non-storm water discharge to the storm drain system, except as exempted in *Section VI-Regulation of non-storm water discharges, (a) Prohibition of illegal discharges, paragraph 3.*, of this ordinance.

**Illicit Connections.** An illicit connection is defined as either of the following: Any drain or conveyance, whether on the surface or subsurface, which allows an illegal discharge to enter the storm drain system including but not limited to any conveyances which allow any non-storm water discharge including sewage, process wastewater, and wash water to enter the storm drain system and any connections to the storm drain system from indoor drains and sinks, regardless of whether said drain or connection had been previously allowed, permitted, or approved by an authorized enforcement agency or, any drain or conveyance

connected from a commercial or industrial land use to the storm drain system which has not been documented in plans, maps, or equivalent records and approved by an authorized enforcement agency.

**Impervious Cover:** Means those surfaces that cannot effectively infiltrate rainfall (e.g., building rooftops, pavement, sidewalks, driveways, etc).

**Industrial Activity.** Activities subject to the National Pollutant Discharge Elimination System (NPDES) Industrial Permits as defined in 40 CFR, Section 122.26 (b) (14).

**Industrial Storm Water Permit:** Means a NPDES permit issued to a commercial industry or group of industries which regulates the pollutant levels associated with industrial storm water discharges or specifies on-site pollution control strategies.

**Infiltration:** Means the process of percolating storm water into the subsoil.

**Infiltration Facility:** Means any structure or device designed to infiltrate retained water to the subsurface. These facilities may be above grade or below grade.

**Jurisdictional Wetland:** Means an area that is inundated or saturated by surface water or groundwater at a frequency and duration sufficient to support a prevalence of vegetation typically adapted for life in saturated soil conditions, commonly known as hydrophilic vegetation.

**Land Disturbance Activity:** means any activity which changes the volume or peak flow discharge rate of rainfall runoff from the land surface. Any land change that may result in soil erosion for wind, water and/or ice and the movement of sediments into or upon waters, lands or rights-of-way within the City of Hurst, including but not limited to building demolition, clearing, cutting, digging, excavating of soil, grading, scraping, placement of fill materials, paving, substantial removal of vegetation, transporting and filling of land, construction or any activity which bares soil or rock or involves the diversion or piping of any natural or man-made watercourse. Land disturbance activity does not include the following:

- (1) Minor land disturbance activities including, but not limited to underground utility repairs, home gardens, cemetery graves, minor repairs, and maintenance work which disturbs less than 500 square feet.
- (2) Installation of fence, sign, telephone, and electrical poles and other kinds of poles.
- (3) Emergency work to protect life, limb, or property and emergency repairs. If the land disturbing activity would have required an approval erosion and sediment control plan except for emergency, then the land area disturbed shall be shaped and stabilized in accordance with the requirements of this ordinance.

**Landowner:** Means the legal or beneficial owner of land, including those holding the right to purchase or lease the land, or any other person holding proprietary rights in the land.

**Maintenance Agreement:** Means a legally recorded document that acts as a property deed restriction, and which provides for long-term maintenance of storm water management practices.

**National Pollutant Discharge Elimination System (NPDES) Storm Water Discharge Permit:** means a permit issued by Environmental Protection Agency (EPA) (or by a state under authority delegated pursuant to 33 USC § 1342 (b)) that authorizes the discharge of pollutants to waters of the United States, whether the permit is applicable on an individual, group, or general area-wide basis.

**Nonpoint Source Pollution:** Means pollution from any source other than from any discernible, confined and discrete conveyances, and shall include, but not be limited to, pollutants from agricultural, silvicultural, mining, construction, subsurface disposal and urban runoff sources.

**Non-Storm Water Discharge.** Any discharge to the storm drain system that is not composed entirely of storm water.

**Notice of Intent (NOI):** A form provided by the Texas Commission on Environmental Quality (TCEQ) completed by a licensed engineer which indicates a proposed land disturbance activity.

**Notice of Termination (NOT):** A form provided by the Texas Commission on Environmental Quality (TCEQ) completed by a licensed engineer when there is a change in operator or developer or the land disturbance activity has been completed.

**Off-Site Facility:** Means a storm water management measure located outside the subject property boundary described in the permit application for the land development activity.

**Perimeter Control:** A barrier that prevents sediment from leaving a site by filtering sediment-laden runoff or diverting it to a sediment trap or basin.

**Person.** An individual, association, organization, partnership, firm, corporation, or other entity recognized by law and acting as either the owner or as the owner's agent.

**Phasing:** Clearing a parcel of land in distinct phases, with the stabilization of each phase completed before the clearing of the next.

**Pollutant:** Anything which causes or contributes to pollution. Pollutants may include, but are not limited to: paints, varnishes, and solvents; oil and other automotive fluids; non-hazardous liquid and solid wastes and yard wastes; refuse, rubbish, garbage, litter, or other discarded or abandoned objects, ordinances, and accumulations, so that same may cause or contribute to pollution; floatables; pesticides, herbicides, and fertilizers; hazardous substances and wastes; sewage, fecal coli form and pathogens; dissolved and particulate

metals; animal wastes; wastes and residues that result from constructing a building or structure; and noxious or offensive matter of any kind.

**Premises:** Any building, lot, parcel of land, or portion of land whether improved or unimproved including adjacent sidewalks and parking strips.

**Qualified Personnel:** Persons who possess the appropriate competence, skills, and ability (as demonstrated by sufficient education, training, experience, and/or, when applicable, any required certification or licensing) to perform a specific activity in a timely and complete manner consistent with the applicable regulatory requirements and generally accepted industry standards for such activity. The permit applicant is responsible for providing qualifications to the City of Hurst's Public Works Department. The Public Works Director and the City Engineer have the authority to approve or deny the qualifications of personnel.

**Recharge:** Means the replenishment of underground water reserves.

**Redevelopment:** Means any construction, alteration or improvement exceeding square feet in areas where existing land use is high density commercial, industrial, institutional or multi-family residential.

**Runoff:** Any rainfall, snowmelt, or irrigation water flowing over the ground.

**Sediment:** The soils or other surficial materials transported by the surface water as a product of erosion.

**Sediment Control:** The best management practices (BMP) or measures that prevent eroded sediment from leaving the site.

**Sedimentation:** The process or action of depositing sediment that is determined to have been caused by erosion.

**Site:** A parcel of land or a contiguous combination thereof, where grading work is performed as a single unified operation.

**Small municipal separate storm sewer system (MS4):** Owned and operated by the United States, state, city, town, borough, county, parish, district, association, or other public body (created by or pursuant to state law) having jurisdiction over disposal of sewage, industrial wastes, storm water, or other wastes, including special districts under state law, such as a sewer district, flood control district, or drainage district or similar entity, or a designated and approved management agency under Section 208 of the Clean Water Act that discharges to waters of the United States.

**Stabilization:** The use of practices that prevent exposed soil from eroding.

**Start of Construction:** The first land-disturbing activity associated with a development, including land preparation such as clearing grading, and filling; installation of streets and walkways; excavation for basements, footings, piers, or foundations; erection of temporary forms; and installation of accessory buildings such as garages.

**Stop Work Order:** Means an order issued which requires that all construction activity on a site be stopped.

**Storm Drainage System.** Publicly-owned facilities by which storm water is collected and/or conveyed, including but not limited to any roads with drainage systems, municipal streets, gutters, curbs, inlets, piped storm drains, pumping facilities, retention and detention basins, natural and human-made or altered drainage channels, reservoirs, and other drainage structures.

**Storm water:** Any surface flow, runoff, and drainage consisting entirely of water from any form of natural precipitation, and resulting from such precipitation.

**Storm Water Management:** Means the use of structural or non-structural practices that are designed to reduce storm water runoff pollutant loads, discharge volumes, and/or peak flow discharge rates.

**Storm water pollution prevention plan (SWPPP):** A document which describes the best management practices and activities to be implemented by a person or business to identify sources of pollution or contamination at a site and the actions to eliminate or reduce pollutant discharges to storm water, storm water conveyance systems, and/or receiving waters to the maximum extent practicable.

**Storm Water Retrofit:** Means a storm water management practice designed for an existing development site that previously had either no storm water management practice in place or a practice inadequate to meet the storm water management requirements of the site.

**Storm water Runoff:** Means flow on the surface of the ground, resulting from precipitation.

**Storm Water Treatment Practices (STPs):** Means measures, either structural or nonstructural, that are determined to be the most effective, practical means of preventing or reducing point source or nonpoint source pollution inputs to storm water runoff and water bodies.

**Structural control (or practice):** A pollution prevention practice that requires the construction of a device, or use of a device, to capture or prevent pollution in storm water runoff. Structural controls and practices may include but are not limited to: web ponds, bio retention, infiltration basins, storm water wetlands, silt fences, earthen dikes, drainage swales, vegetative lined ditches, vegetative filter strips, sediment traps, check dams, subsurface drains, storm drain inlet protection, rock outlet protection, reinforced soil retaining systems, gabions, and temporary or permanent sediment basins.

**Texas Pollutant Discharge Elimination System (TPDES) Storm Water Discharge Permit.** Means the permit program that controls water pollution by regulating point sources that discharge pollutants into waters in the State, delegated to the State of Texas by the EPA pursuant to 33 USC § 1342 (b).

**Wastewater** means any water or other liquid, other than uncontaminated storm water, discharged from a facility.

**Water Quality Volume (WQV):** Means the storage needed to capture and treat ninety (90) percent of the average annual storm water runoff volume. Numerically (WQV) will vary as a function of long term rainfall statistical data.

**Watercourse:** Means a permanent or intermittent stream or other body of water, either natural or man-made, which gathers or carries surface water.

**Waterway:** A channel that directs surface runoff to a watercourse or to the public storm drain.

### **III. Applicability.**

This Ordinance shall apply to all water entering the municipal separate storm sewer system (MS4) generated on any developed and undeveloped lands unless explicitly exempted by an authorized enforcement agency.

### **IV. Responsibility for administration.**

The City Manager or his designee shall administer, implement, and enforce the provisions of this Ordinance. Any powers granted or duties imposed upon the City of Hurst may be delegated in writing by the City Manager of the authorized enforcement agency to persons or entities acting in the beneficial interest of or in the employ of the City.

### **V. Warning and disclaimer of liability.**

The standards set forth herein and promulgated pursuant to this Ordinance are minimum standards; therefore this Ordinance does not intend nor imply that compliance by any person will ensure that there will be no contamination, pollution, nor unauthorized discharge of pollutants.

### **VI. Regulation of non-storm water discharges.**

#### **A. Prohibition of Illegal Discharges.**

1. No person shall discharge or cause to be discharged into the municipal storm drain system or watercourses any materials, including but not limited to pollutants or waters containing any pollutants that cause or contribute to a violation of applicable water quality standards, other than storm water.
  2. The commencement, conduct or continuance of any illegal discharge to the storm drain system is prohibited except as described as follows:
  3. The following discharges are exempt from discharge prohibitions established by this ordinance: water line flushing or other potable water sources, landscape irrigation or lawn watering, diverted stream flows, rising ground water, ground water infiltration to storm drains, uncontaminated pumped ground water, foundation or footing drains (not including active groundwater dewatering systems), crawl space pumps, air conditioning condensation, springs, non-commercial washing of vehicles, natural riparian habitat or wet-land flows, swimming pools (if dechlorinated, typically less than one PPM chlorine), firefighting activities, and any other water source not containing pollutants.
  4. Discharges specified in writing by the authorized enforcement agency as being necessary to protect public health and safety.
  5. Dye testing is an allowable discharge, but requires a verbal notification prior to the time of the test.
  6. The prohibition shall not apply to any non-storm water discharge permitted under a TPDES permit, waiver, or waste discharge order issued to the discharger and administered under the authority of the Texas Commission on Environmental Quality, provided that the discharger is in full compliance with all requirements of the permit, waiver, or order and other applicable laws and regulations, and provided that written approval has been granted for any discharge to the storm drain system.
- B. Prohibition of Illicit Connections.
1. The construction, use, maintenance or continued existence of illicit connections to the storm drain system is prohibited.
  2. This prohibition expressly includes, without limitation, illicit connections made in the past, regardless of whether the connection was permissible under law or practices applicable or prevailing at the time of connection.
  3. A person is considered to be in violation of this ordinance if the person connects a line conveying sewage to the MS4, or allows such a connection to continue.

## **VII. Suspension of MS4 Access.**

- A. Suspension due to Illicit Discharges in Emergency Situations. The City Manager or his designee may, without prior notice, suspend MS4 discharge access to a person when such suspension is necessary to stop an actual or threatened discharge which presents or may present imminent and substantial danger to the environment, or to the health or welfare of persons, or to the MS4 or Waters of the United States. If the violator fails to comply with a suspension order issued in an emergency, the City of Hurst may take such steps as deemed necessary to prevent or minimize damage to the MS4 or Waters of the United States, or to minimize danger to persons.

**B. Suspension due to the Detection of Illicit Discharge.**

1. Any person discharging to the MS4 in violation of this ordinance may have their MS4 access terminated if such termination would abate or reduce an illicit discharge. The authorized enforcement agency will notify a violator of the proposed termination of its MS4 access. The violator may petition the authorized enforcement agency for a reconsideration and hearing.
2. A person commits an offense if the person reinstates MS4 access to premises terminated pursuant to this Section, without the prior approval of the authorized enforcement agency.

**VIII. Industrial or construction activity discharges.**

Any person subject to an industrial or construction activity TPDES general permit shall comply with all provisions of such permit. Proof of compliance with said permit may be required in a form acceptable to the City of Hurst prior to the allowing of discharges to the MS4.

**IX. Monitoring of discharges.**

- A. Applicability. This section applies to all facilities that have storm water discharges associated with industrial activity, including construction activity.
- B. Access to Facilities.
  1. The City Manager or his designee shall be permitted to enter and inspect facilities subject to regulation under this ordinance as often as may be necessary to determine compliance with this ordinance. If a discharger has security measures in force which require proper identification and clearance before entry into its premises, the discharger shall make the necessary arrangements to allow access to representatives of the authorized enforcement agency.
  2. Facility operators shall allow the City Manager or his designee ready access to all parts of the premises for the purposes of inspection, sampling, examination and copying of records that must be kept under the conditions of a TPDES permit to discharge storm water, and the performance of any additional duties as defined by state and federal law.
  3. The City Manager or his designee shall have the right to set up on any permitted facility such devices as are necessary in the opinion of the authorized enforcement agency to conduct monitoring and/or sampling of the facility's storm water discharge.
  4. The City Manager or his designee has the right to require the discharger to install monitoring equipment as necessary. The facility's sampling and monitoring equipment shall be maintained at all times in a safe and proper operating condition by the discharger at its own expense. All devices used to measure storm water flow and quality shall be calibrated to ensure their accuracy. Any temporary or permanent obstruction to safe and easy access to the facility to be inspected and/or sampled shall be promptly removed by the operator at the written or oral request of the City of Hurst and shall not be replaced. The costs of clearing such access shall be borne by the operator.

5. Any temporary or permanent obstruction to safe and easy access to the facility to be inspected and/or sampled shall be promptly removed by the operator at the written or oral request of the City Manager or his designee and shall not be replaced. The costs of clearing such access shall be borne by the operator.
6. Unreasonable delays in allowing the City Manager or his designee access to a permitted facility are a violation of a storm water discharge permit and of this ordinance. A person who is the operator of a facility with a TPDES permit to discharge storm water associated with industrial activity commits an offense if the person denies the authorized enforcement agency reasonable access to the permitted facility for the purpose of conducting any activity authorized or required by this ordinance.
7. If the City Manager or his designee has been refused access to any part of the premises from which storm water is discharged, and the City is able to demonstrate probable cause to believe that there may be a violation of this ordinance, or that there is a need to inspect and/or sample as part of a routine inspection and sampling program designed to verify compliance with this ordinance or any order issued hereunder, or to protect the overall public health, safety, and welfare of the community, then the authorized enforcement agency may seek issuance of a search warrant from any court of competent jurisdiction.

**X. Requirement to prevent, control, and reduce storm water pollutants by best management practices.**

The City Manager or his designee will adopt requirements identifying Best Management Practices for any activity, operation, or facility which may cause or contribute to pollution or contamination of storm water, the storm drain system, or waters of the United States (US). The owner or operator of a commercial or industrial establishment shall provide, at their own expense, reasonable protection from accidental discharge of prohibited materials or other wastes into the municipal storm drain system or watercourses through the use of these structural and non-structural BMPs. Further, any person responsible for a property or premise, which is, or may be, the source of an illicit discharge, may be required to implement, at said person's expense, additional structural and non-structural BMPs to prevent the further discharge of pollutants to the municipal separate storm sewer system.

Compliance with all terms and conditions of a valid TPDES permit authorizing the discharge of storm water associated with industrial activity, to the extent practicable, shall be deemed compliance with the provisions of this section. These BMPs shall be part of a storm water pollution prevention plan (SWPPP) as necessary for compliance with requirements of the TPDES permit.

**XI. Watercourse Protection.**

Every person owning property through which a watercourse passes, or such person's lessee, shall keep and maintain that part of the watercourse within the property free of trash, debris,

excessive vegetation, and other obstacles that would pollute, contaminate, or significantly retard the flow of water through the watercourse. In addition, the owner or lessee shall maintain existing privately owned structures within or adjacent to a watercourse, so that such structures will not become a hazard to the use, function, or physical integrity of the watercourse.

## **XII. Notification of spills.**

Notwithstanding other requirements of law, as soon as any person responsible for a facility or operation, or responsible for emergency response for a facility or operation has information of any known or suspected release of materials which are resulting or may result in illegal discharges or pollutants discharging into storm water, the storm drain system, or water of the U.S. said person shall take all necessary steps to ensure the discovery, containment, and cleanup of such release. In the event of such a release of hazardous materials said person shall immediately notify emergency response agencies of the occurrence via emergency dispatch services. In the event of a release of non-hazardous materials, said person shall notify the authorized enforcement agency in person or by phone no later than the next business day. Notifications in person or by phone shall be confirmed by written notice addressed and mailed to the City Manager or his designee within three (3) business days of the phone notice. If the discharge of prohibited materials emanates from a commercial or industrial establishment, the owner or operator of such establishment shall also retain an on-site written record of the discharge and the actions taken to prevent its recurrence. Such records shall be retained for at least three (3) years.

## **XIII. Erosion and sediment control.**

### **A. Regulation of land disturbing activities.**

1. No person shall be allowed to develop property or be granted a building permit for land disturbing activity that would require the uncovering of one (1) acre or more without the approval of an erosion and sediment control plan (ESCP) by the city.
2. No ESCP is required for the following activities:
  - A. Any emergency activity that is immediately necessary for the protection of life, property, or natural resources.
  - B. Any Existing nursery and agricultural operations conducted as a permitted main or accessory use.
3. Each ESCP shall bear the name(s) and address(es) of the owner or developer of the site, and of any consulting firm retained by the applicant together with the name of the applicant's principal contact at such firm.
4. Each submittal shall include a statement that any land clearing, construction, or development involving the movement of earth shall be in accordance with the ESCP and that a qualified contractor shall be on site on all days when construction or grading activity takes place.
5. The applicant will be required to file with the city a faithful performance bond, letter of credit,, or other improvement security in an amount deemed sufficient by the city to

cover all costs of improvements, landscaping, maintenance or improvements for such period as specified by the city, and engineering and inspection costs to cover the cost of failure or repair of improvements installed on the site.

B. Erosion and sediment control plan.

1. The erosion and sediment control plan (ESCP) shall include the following:
  - a. A natural resources map identifying soils, forest cover, and resources protected under other chapters of the City Code.
  - b. A sequence of construction for the site, including stripping and clearing; rough grading; construction of utilities, infrastructure, and buildings; and final grading and landscaping. Sequencing shall identify the expected date on which clearing will begin, the estimated duration of exposure of cleared areas, areas of clearing, installation of temporary erosion duration of exposure of cleared areas, areas of clearing, installation of temporary erosion and sediment control measures and establishment of permanent vegetation.
  - c. All erosion and sediment controls measures necessary to meet the objectives of these local regulations throughout all phases of construction and after completion of development of the site. Depending upon the complexity of the project, the drafting of intermediate plans may be required at the close of each season.
  - d. Seeding mixtures and rates, types of sod, method of seedbed preparation, expected seeding dates, type and rate of lime and fertilizer application, kind of mulch and quantity of mulching for both temporary and permanent vegetative control measures.
  - e. Note stating all construction site waste to be picked up daily and stored in secure containers until the waste is removed from the site. All construction site waste that could possibly cause adverse impacts to water quality shall be picked up immediately.
  - f. Provisions for maintenance of control facilities, including easements and estimates of the cost of maintenance.
2. Review and approval.
  - a. City will review each ESCP submittal to determine its conformance with the provisions of regulation. Within thirty (30) days after receiving a submittal packet, city shall in writing:
    - i. Approve the ESCP:
    - ii. Approve the ESCP subject to such reasonable conditions as may be necessary to secure substantially the objectives of this regulation; or
    - iii. Disapprove the plan, indicating the reason(s) and procedure for submitting a revised ESCP.
  - b. Failure of the City of Hurst to act on an original or revised ESCP within 30 days of receipt shall authorize the applicant to proceed in accordance with the plans as filed unless such time as extended by agreement between the applicant and the city. Pending preparation and approval of a revised plan, development activities shall be allowed to proceed in accordance with conditions established by the city.

3. Design requirements.

- a. Grading erosion control practices, sediment control practices, and waterway crossings shall meet the city's design criteria and utilize the best management practices (BMP's) available in the Dallas-Fort Worth area for slope protection, sediment barriers and perimeter controls, velocity dissipation, channel stabilization, construction access controls, storm drain inlet protection, dewatering controls, material and waste controls and construction phasing. The design shall be adequate to prevent transportation of sediment from the site to the satisfaction of the city. Cut and fill slopes shall be adequate to prevent transportation of sediment from the site to the satisfaction of the city to meet other community or environmental objectives.
- b. Clearing and grading of natural resources, such as forests and wetlands, shall not be permitted, except when a compliance with this ordinance and all state and federal laws. Clearing techniques that retain natural vegetation and drainage patterns are preferred by the city.
- c. Clearing, except that necessary to establish sediment control devices, shall not begin until all sediment control devices have been installed and have been stabilized.
- d. Phasing shall be required on all sites disturbing greater than thirty (30) acres, with the size of each phase to be established at plan review and as approved by the city.
- e. Erosion control requirements shall include the following:
  - i. Soil stabilization shall be completed within five (5) days of clearing or inactivity in construction.
  - ii. If seeding or another vegetative erosion control method is used, it shall become established within two (2) weeks or the city may require the site to be reseeded or a non-vegetative option employed.
  - iii. Special techniques that have been shown to be effective on steep slopes or in drainage ways shall be used to ensure stabilization.
  - iv. Soil stockpiles must be stabilized or covered at the end of each workday.
  - v. The entire site must be stabilized using a heavy mulch layer or another method that does not require germination to control erosion, at the close of the construction season.
  - vi. Techniques shall be employed to minimize the blowing of dust or sediment from the site.
  - vii. Techniques that divert upland runoff past disturbed slopes shall be employed.
- f. Sediment control requirements shall include:
  - i. Settling basins, sediment traps, or tanks and perimeter controls.
  - ii. Settling basins that are designed in a manner that allows adaptation to provide long term storm water management, if required by the city.
  - iii. Protection for adjacent properties by the use of a vegetated buffer strip in combination with perimeter controls.
- g. Waterway and watercourse protection requirements shall include

- i. A temporary stream crossing installed and approved by the city if a wet watercourse will be crossed regularly during construction.
      - ii. Stabilization of the watercourse channel before, during, and after any in-channel work.
      - iii. All on-site storm water conveyance channels designed according to the city's criteria outlined in the Uniform Development Code.
      - iv. Stabilization adequate to prevent erosion located at the outlets of all pipes and paved channels.
    - h. Construction site access requirements shall include:
      - i. A temporary access road provided at all sites.
      - ii. Other measures required by the city in order to ensure that sediment is not tracked onto public streets by construction vehicles or washed into storm drains.
- 4. Inspection of ESCP
  - a. City or designated agent shall make inspections as hereinafter required and either shall approve that portion of the work completed or shall notify the applicant wherein the work fails to comply with the ESCP as approved. Plans for grading, stripping, excavating, and filling work bearing the stamp of approval of the city shall be maintained at the site during the progress of the work. To obtain inspections, the applicant shall notify city at least two (2) working days before the following:
    - i. Start of construction.
    - ii. Installation of sediment and erosion measures.
    - iii. Completion of site clearing.
    - iv. Completion of rough grading.
    - v. Completion of final grading.
    - vi. Close of construction season.
    - vii. Completion of final landscaping.
  - b. The applicant or his/her agent shall make regular inspections of all control measures in accordance with the inspection schedule outlined and the approved ESCP. The purpose of such inspections will be to determine the overall effectiveness of the control plan and the need for additional control measures. All inspections shall be documented in written form and submitted to the city at the time interval specified on the approved ESCP.
  - c. The city or its designated agent shall enter the property of the applicant as deemed necessary to make regular inspections to ensure the validity of the inspection reports submitted to the city.

#### **XIV. Post construction storm water management for new development and redevelopment.**

- A. Regulation of land disturbing activities.
  - 1. No person shall be allowed to develop property or be granted a building permit for land disturbing activity that would require the uncovering of one (1) acre or more without

- the approval of a post construction storm water management plan (PCSWMP) by the city.
2. No PCSWMP is required for the following activities:
    - a. Any emergency activity that is immediately necessary for the protection of life, property, or natural resources.
    - b. Existing nursery and agricultural operations conducted as a permitted main or accessory use.
  3. Each PCSWMP shall bear the name(s) and address(es) of the owner or developer of the site, and principal contact at such firm.
  4. Each submittal shall include a statement that any improvements installed for post construction storm water management shall be in accordance with the city approved PCSWMP for the site.
- B. Post Construction storm water management plan.
1. The post construction storm water management plan (PCSWMP) shall include the following:
    - a. An overall, to scale site plan for the site showing all structural controls and best management practices to be utilized for maintaining the water quality of the runoff after construction is complete.
    - b. A list and complete description of all best management practices proposed for the site.
    - c. A list of those runoff items including sediment to be controlled to a level equal or better than existed prior to development or redevelopment.
    - d. A proposed long-term maintenance agreement for any structural storm water control measures installed on the property. The city will have a standard form to be used. The form should be modified for the special nature of each site.

## **XV. Enforcement.**

- A. Notice of Violation. Whenever the City Manager or his designee finds that a person has violated a prohibition or failed to meet a requirement of this Ordinance, he may order compliance by written "notice of violation" to the responsible person. Such notice may require without limitation:
1. The performance of monitoring, analyses, and reporting;
  2. The elimination of illicit connections or discharges;
  3. That violating discharges, practices, or operations shall cease and desist;
  4. The abatement or remediation of storm water pollution or contamination hazards and the restoration of any affected property; and
  5. Payment of a fine to cover administrative and remediation costs; and
  6. The implementation of source control or treatment BMPs. If abatement of a violation and/or restoration of affected property is required, the notice shall set forth a deadline within which such remediation or restoration must be completed. Said notice shall further advise that, should the violator fail to remediate or restore within the

established deadline, the work will be done by designated City personnel or a contractor and the expense thereof shall be charged to the violator.

B. Appeal of Notice of Violation.

Any person receiving a notice of violation may appeal the determination to the City Manager or his designee. The "notice of appeal" must be received within ten days from the date of the notice of violation. Hearing on the appeal before the City Manager or his/her designee shall take place within 15 days from the date of receipt of the notice of appeal. The decision of the City Manager or his designee shall be final.

If the violation has not been corrected pursuant to the requirements set forth in the notice of violation, or, in the event of an appeal, within ten days of the decision of the City Manager or his designee upholding the determination, then representatives of the City shall enter upon the subject private property and are necessary to abate the violation and /or restore the property. It shall be unlawful for any person, owner, agent or person in possession of any premises to refuse to allow the City representatives or designated contractor to enter upon the premises for the purposes set forth above.

C. Injunctive Relief.

It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Ordinance. If a person has violated or continues to violate the provisions of this Ordinance, the City through its attorney may petition for a preliminary or permanent injunction restraining the person from activities which would create further violations or compelling the person to perform abatement or remediation of the violation.

D. Violations deemed a public nuisance.

In addition to the enforcement processes and penalties provided, any condition caused or permitted to exist in violation of any of the provisions of this Ordinance is a threat to public health, safety, and welfare, and is declared and deemed a nuisance, and may be summarily abated or restored at the violator's expense, and/or a civil action to abate, enjoin, or otherwise compel the cessation of such nuisance may be taken.

E. Remedies not exclusive.

The remedies listed in this ordinance are not exclusive of any other remedies available under any applicable federal, state or local law and it is within the discretion of the authorized enforcement agency to seek cumulative remedies.

Section 3. **THAT**, All provisions of the ordinances of the City of Hurst in conflict with the provisions of this ordinance are, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Hurst not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 4. **THAT**, Should any sentence, paragraph, subdivision, clause, phrase or section

of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole, or any part of provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the code of Ordinances as a whole.

Section 5. **THAT,** Any person, firm, or coporoation violating any provision of this ordinance shall be fined an amount in accordance with Chapter 1, Section 1.5 of the Hurst Code of Ordinances.

Section 6. **THAT,** This Ordinance shall take effect immediately from and after its passage.

**AND IT IS SO ORDERED.**

Passed on the first reading on the 8<sup>th</sup> day of December 2015 by a vote of 6 to 0.

Approved on the second reading on the 12<sup>th</sup> day of January 2016 by a vote of \_\_\_\_ to \_\_\_\_.

**ATTEST:**

**CITY OF HURST**

\_\_\_\_\_  
Rita Frick, City Secretary

\_\_\_\_\_  
Richard Ward, Mayor

**Approved as to form and legality:**

\_\_\_\_\_  
City Attorney

City Council Staff Report

**SUBJECT:** Consider authorizing the Mayor to execute the Risk MAP (Mapping, Assessment, and Planning) Cooperation Statement with the Federal Emergency Management Agency (FEMA) and Risk Assessment, Mapping, and Planning Partners (RAMPP)

**Supporting Documents:**

Cooperation Statement  
 Exhibit "A" - Location Map

Meeting Date: 1/12/2016  
 Department: Public Works  
 Reviewed by: Gregory Dickens  
 City Manager Review:

**Background/Analysis:**

The goal of the Risk MAP program is to deliver quality data that increases public awareness and leads to actions that reduce the risk to life and property. The main purpose of this non-legally binding agreement/statement is to clarify FEMA's and the City of Hurst's role in this good-faith effort to share data, communicate results and findings, and plan mitigation activities to reduce future flood risks in Hurst.

In phase 2 of this program, Risk MAP will provide a study that will include flood risk analysis (i.e., computer modeling of portions of watersheds), flood risk report, flood risk map, and a flood risk database. The communities involved in the second phase, who sign off on the statement, will be expected to provide input throughout the study process to verify data and ensure that the information accurately represents the communities. Additionally, the communities will assist in the identification of mitigation actions and identify the support necessary to move these projects towards implementation.

**Funding and Sources:**

Any funds needed, for this cooperative effort by the City, will come from the operating budget. No additional funds are needed at this time.

**Recommendation:**

Staff recommends City Council authorize the Mayor to execute the Risk MAP Cooperation Statement with the Federal Emergency Management Agency (FEMA) and Risk Assessment, Mapping, and Planning Partners (RAMPP).



FEMA



## Risk MAP Cooperation Statement

The goal of the FEMA Region 6 and the Risk Mapping, Assessment, and Planning (Risk MAP) program is to deliver quality data that increases public awareness and leads to actions that reduce the risk to life and property. Through this Risk MAP project effort, FEMA Region 6 has engaged with the communities within the Lower West Fork Trinity Watershed in the Discovery effort and have identified additional efforts within the following communities: Town of Annetta North, City of Arlington, City of Bedford, City of Benbrook, City of Cedar Hill, City of Dallas, Ellis County Unincorporated Areas, City of Euless, City of Fort Worth, City of Grand Prairie, City of Grapevine, City of Haltom City, City of Haslet, City of Hudson Oaks, City of Hurst, City of Irving, Johnson County Unincorporated Areas, City of Keller, City of Midlothian, City of North Richland Hills, Parker County Unincorporated Areas, City of River Oaks, City of Saginaw, City of Sansom Park, City of Southlake, Tarrant County Unincorporated Areas, City of Venus, City of Watauga, City of Weatherford, City of Westworth Village, City of White Settlement, and City of Willow Park.

The data identified for preparation are intended to support mitigation actions identified in this watershed are intended to partner the watershed communities with the State of Texas and FEMA to prepare more accurate flood risk information, provide the communities data and tools to educate and communicate the flood risk to their citizens with the intent to implement mitigation action to reduce their future flood risk.

This Cooperation Statement represents a good-faith effort by all parties to share data, communicate results and findings, and plan mitigation activities to reduce your community's future flood risk. **This document is not legally binding nor does it preclude a community from participating in the FIRM appeal and comment process should the analysis result in a map change.**

## Risk Identification and Assessment Tasks (Phase Two)

FEMA will perform an update for approximately 268.5 miles of riverine analyses, the generation of non-regulatory Risk MAP products to describe a variability of flood risk within the Lower West Fork Trinity Watershed as part of this project. The Discovery Report available at:

[http://www.riskmap6.com/documents/Meeting\\_306/Lower%20West%20Fork%20Trinity%20Discovery%20Report.pdf](http://www.riskmap6.com/documents/Meeting_306/Lower%20West%20Fork%20Trinity%20Discovery%20Report.pdf). This Discovery Report includes Table 17 that identified potential projects for the watershed area in this phase of the study.

## Risk MAP Deliverables

Communities can use the updated data and products to make informed hazard mitigation, land use and development, and emergency management decisions and develop related plans and strategies to reduce future flood risk within the watershed.

## Flood Risk Products

- **Flood Risk Analysis:** Hydrologic and Hydraulic modeling results based on the updated studies performed within portions of the watershed. For more specific information on the scope of study for this watershed, review the project map at this link at: <http://www.riskmap6.com/Community.aspx?cid=320&sid=5>.
- **Flood Risk Report:** Provides updated information and details of the flood hazards and risk exposure within the community, watershed, or other geographic area based up on the updated analysis performed. The updated Flood Risk Report will provide an update to the Hazus results previously provided at the end of the Discovery process.
- **Flood Risk Map:** Depicts county and community boundaries in relation to the highest areas of risk within the watershed emphasizing that risk reduction activities updated with the new flood risk analysis to identify areas of change. These products can be used to prioritize mitigation projects at the local level and identify project areas where watershed communities may partner to reduce flood risk.
- **Flood Risk Database:** Provides access to the data collected, created, and analyzed during the project. Flood Risk Database includes:
  - **Flood Depth and Analysis Grids:** Identifies the depth of flooding related to the 10 percent, 4 percent, 2 percent, 1 percent, and 0.2 percent annual chance flood events.



FEMA



- **Flood Risk Assessment:** Combined Hazus analysis helps identify the economic impacts of flooding and highlights areas where risk reduction actions may produce the highest return on investment.
- **Areas of Mitigation Interest:** Identifies conditions that may contribute to the severity of the flood hazard and associated losses so impacts can be evaluated through the Mitigation Plan which can lead to actions to reduce the risk.

## Planning

A number of hazard mitigation plans exist within the Lower West Fork Trinity Watershed. These plans will expire between 2015 and 2020. The communities included in these Hazard Mitigation Plan(s) should use the information in the Flood Risk Database to identify additional risks and vulnerabilities associated with flooding, re-evaluate the areas of high mitigation value, and review their long-term strategies if the analysis provided identifies additional areas to reduce future flood events, as financially feasible.

FEMA offers Hazard Mitigation Assistance grant programs through the State of Texas that fund eligible mitigation planning and activities that reduce disaster losses and protect life and property from future disaster damages. Communities should consult their State Hazard Mitigation Officer to discuss the availability of funding, the documentation requirements and the state's investment priorities for hazard mitigation projects.

## Communication and Coordination

FEMA will coordinate with the watershed communities within the project areas to hold a minimum of two meetings in this phase of the Risk MAP process, as described below.

- **Flood Study Review Meeting** will provide local/tribal officials the opportunity to view the study results and comment on drafts of the engineering analyses and flood risk data. An overview map will allow communities to discuss areas of change with FEMA.
- **Resilience Meeting** will provide local officials with the Risk MAP Products and describe how to incorporate this new information into existing hazard mitigation plans. The Risk MAP Products will provide communities with a view of the variability of risk within the watershed.
- **Educational and Communications Materials** will be prepared and provided throughout the Risk Identification and Assessment process to provide local and tribal officials with tools that will assist their local efforts.
- Other Meetings and Coordination (as appropriate).

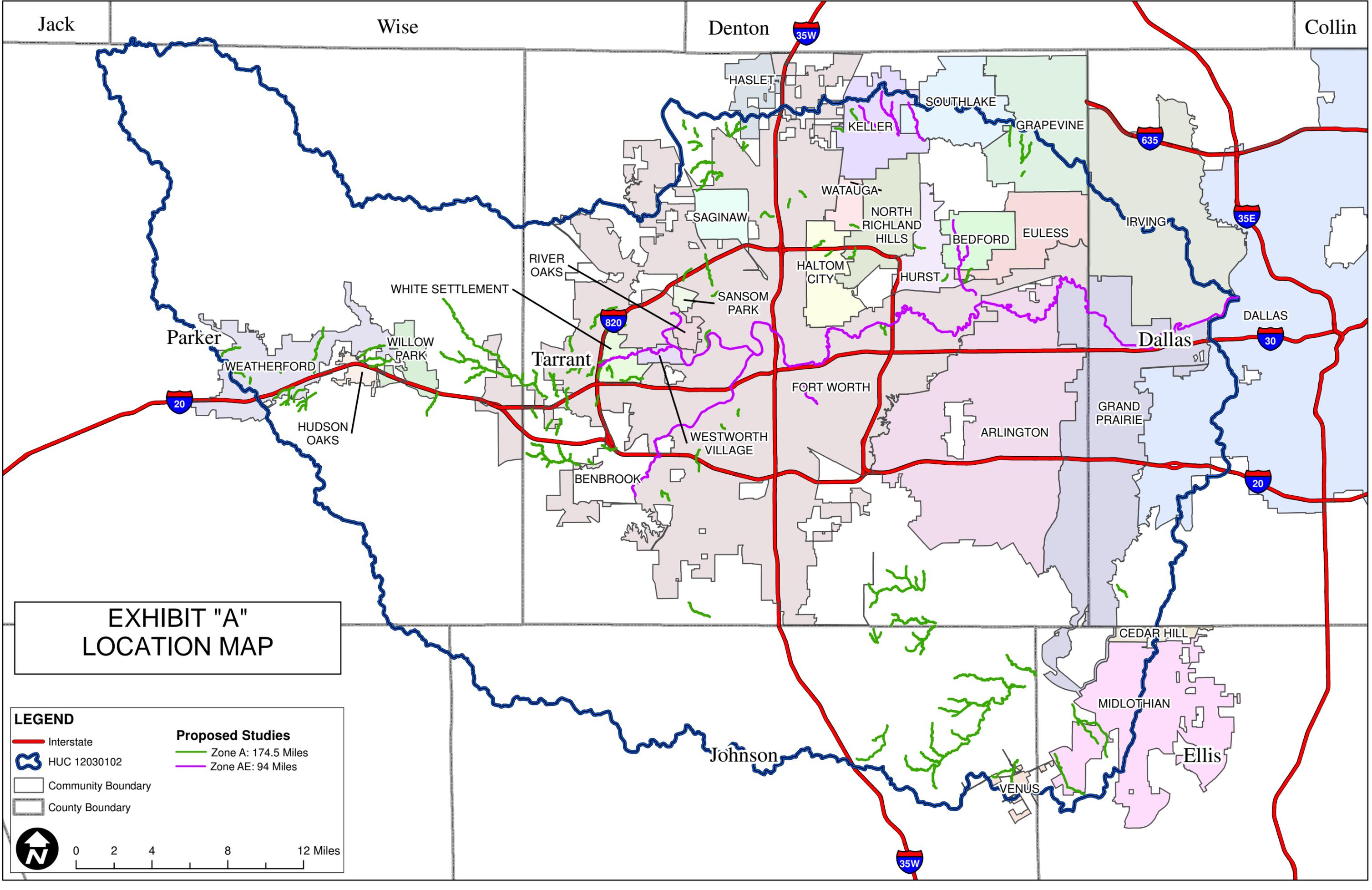
## Roles and Responsibilities

The parties listed in the signature block below will collaborate on flood hazard identification activities, flood risk analysis products, and will consult with each other identify potential mitigation actions. The intent of this cooperation statement is to integrate partner contributions into flood hazard identification efforts.

FEMA is interested in partnering to provide local and tribal officials with regular project status updates, the data and products described above, and outreach guidance to increase awareness of flood risk throughout the watershed communities. Additionally, FEMA Region 6 is committed to working with its communities to reduce flood risk within the Region.

Community Officials will provide input and updates, where available, throughout the study process to verify data and ensure that the information accurately represents the community. Additionally, the community will assist in the identification of mitigation actions and identify the support necessary to move these projects towards implementation.

The efforts of the involved party will better enable watershed communities to make informed decisions to reduce risk, through the development, or enhancement of mitigation plans, and increased communication with citizens to inform them about their risk and the steps they can take to mitigate that risk.



**EXHIBIT "A"  
LOCATION MAP**

**LEGEND**

- Interstate
- HUC 12030102
- Community Boundary
- County Boundary

**Proposed Studies**

- Zone A: 174.5 Miles
- Zone AE: 94 Miles

0 2 4 8 12 Miles

City Council Staff Report

SUBJECT: Consider authorizing the city manager to enter into an Engineering Services Contract Amendment 1 with Halff Associates, Inc., for engineering services for Valley View Branch Flood Protection Planning Study

Supporting Documents:

Contract Amendment 1  
 Exhibit A – Scope of Services

Meeting Date: 1/12/2016  
 Department: Public Works  
 Reviewed by: Gregory Dickens  
 City Manager Review:

Background/Analysis:

On October 27, 2015, Council approved the Engineering Services Contract with Halff Associates, Inc., for the subject project. The project is a 50/50 grant planning project with the Texas Water Development Board (TWDB) and requires their approval of the Engineering Services Contract. The TWDB is requiring the original contract's monthly payment method be modified from a percentage of a lump sum amount to man hours spent on the contract at the appropriate employee pay rate. The attached Contract Amendment 1 accomplishes the change in payment method.

Funding and Sources:

There is no fiscal impact.

Recommendation:

Staff recommends City Council authorize the city manager to execute Amendment 1 to the Engineering Services Contract with Halff Associates, Inc., for Valley View Branch Flood Protection Planning Study at no additional cost.

Contract Amendment No. 1

ENGINEERING SERVICES CONTRACT

Valley View Branch Flood Protection Planning Study

City of Hurst Project No. 6415-002

THE CONTRACT DOCUMENTS ARE HEREBY REVISED OR AMENDED AS FOLLOWS:

Section No. 4. PAYMENT FOR SERVICES, part A. is deleted in its entirety and replaced with the following:

"A. Payment for services rendered as described in Section 3. ENGINEER'S SERVICES will be computed on the basis of man hours spent during the month, times the appropriate employee's pay rate as shown on Attachment C in Exhibit A – Scope of Services. All direct non-labor expenses and other incidentals have been incorporated in the man hour rates."

IN WITNESS WHEREOF, the parties hereby have executed this agreement in triplicate originals on this date, the \_\_\_\_ day of \_\_\_\_\_, 2016.

City of Hurst, Texas

Halff Associates, Inc.

\_\_\_\_\_  
Allan Weegar, City Manager

\_\_\_\_\_  
Benjamin Pylant, Consulting Engineer

\_\_\_\_\_  
Gregory W. Dickens, Executive Director of Public Works



## EXHIBIT "A"

October 7, 2015  
1008-13-9222

Greg Dickens, P.E.  
City of Hurst  
City Engineer  
1505 Precinct Line Road  
Hurst, Texas 76054

RE: Proposal to Prepare Texas Water Development Board Flood Protection Planning Study for Valley View Branch

Dear Mr. Dickens:

Halff Associates, Inc. is pleased to present the following proposal to prepare a Flood Protection Planning Study for Valley View Branch.

The lump sum fee for the preparation of the flood protection plan is \$123,000. This fee will not be exceeded without prior approval from the City of Hurst. Our services will be monthly based on percent complete.

Included with this proposal are Exhibit 'A' – Attachment 'A' Scope of Work and Exhibit 'A' – Attachment 'B' Fee Summary and Schedule. We appreciate this opportunity to be of service to the City of Hurst. If this proposal meets with your approval, please execute and return one copy of the contract for our records and to serve as notice to proceed. Please feel free to contact me or Stephen if you have any questions or comments regarding this proposal.

Sincerely,

HALFF ASSOCIATES, INC.

A handwritten signature in blue ink that reads "Ben B. Pylant".

Benjamin B. Pylant, P.E., CFM  
Project Manager

C: Stephen Crawford

## EXHIBIT 'A' - ATTACHMENT 'A'

### SCOPE OF WORK

#### Flood Protection Plan for Valley View Branch Watershed City of Hurst, City of Fort Worth, and City of Bedford Texas

GENERAL DESCRIPTION – The Flood Protection Plan for Valley View Branch Watershed will be a watershed based study that will include area within the City of Hurst, City of Fort Worth, and City of Bedford. The term Cities will be used throughout this scope of work to refer to all three communities partnered on this study. Objectives of this study are to provide the Cities with technical data to:

1. Compile pertinent existing engineering data and newly developed information into a comprehensive report to identify and evaluate flood prone properties and infrastructure within the project area
2. Formulate and analyze conceptual alternative solutions that will reduce or eliminate flooding problems within the Valley View Branch watershed. Alternatives will focus on the City of Hurst and City of Fort Worth
3. Assist in the prevention of future flooding problems for all three Cities with prudent floodplain management

#### Major Tasks

1. Prepare hydrologic and hydraulic information adequate to define and quantify the flooding problems in the project area
2. Quantify conceptual alternative improvement solutions to help reduce or eliminate flooding problems within the project area

#### **Task 1 – Data Collection**

##### **A. Data Collection**

1. Utilize 2009 TNRIS LIDAR topography along with Halff generated contour files
2. Obtain “as-built” plans for channel and bridge/culvert improvements from the Cities within the project watershed.
3. Obtain storm drain GIS shapefiles from the City
4. Obtain available zoning maps, land use maps, soils data and thoroughfare plans in the project area from the Cities, NCTCOG, NRCS and others. Note: This scope assumes existing and future land use or zoning maps are available from the City of Hurst, City of Fort Worth, City of Bedford, and NCTCOG to be used as a base in preparing the hydrologic land use maps.
5. Collect applicable past studies and reports (including LOMRs), disaster files, complaint files, rainfall records, records of street closures or rescues/deaths, and related flooding data from the City
6. Collect any technical data available from FEMA Region VI in regards to the current effective hydraulic and hydrologic models
7. Collect any technical data on proposed projects and/or roadway improvements along streams in the project area.

## **B. Field Work**

1. Conduct field reconnaissance to identify, map, and photograph the following: existing channel and bridge/culvert conditions, structures within the existing 100-year floodplain, and other physical features that could affect flooding within the City
2. Field Surveys – To be performed to obtain existing information on physical features of the study reach.
  - a. All roadway crossings (23 have been identified) will be photographed and compared to as-built plans. If as-built plans cannot be found or if plans are found to be outdated, structure surveys will be performed (maximum of 10 structure surveys included in this scope)
  - b. 10 Channel surveys will be performed at approximately 3,000 foot intervals to confirm and supplement 2009 TNRIS topography. The 2009 TNRIS data should provide sufficient elevation data for the project area which mainly consists of improved channels and minimal vegetation. If the TNRIS topography is not sufficient, then additional surveying services can be provided outside of this scope.
  - c. Collect field surveys and prepare Elevation Certificates for up to 10 structures. The height of finished floor compared to terrain for the 10 surveyed structures will be used to help establish finished floor elevation approximations for additional identified flood prone properties. Additional Elevation Certifications can be collected outside of this scope, if requested by the Cities.

## **Task 2 – Hydrologic Analysis**

This scope includes the tasks necessary to evaluate and develop new hydrologic models for the Valley View Branch Watershed. Results obtained will be compared with FEMA FIS effective hydrology.

### **A. Fully Developed Conditions Hydrologic Analysis** - Fully developed conditions are recommended for floodplain management and FEMA submittals for the Valley View Branch watershed since it is almost entirely developed already.

1. Obtain FEMA effective hydrology models for the study areas, if available
2. Utilize 2009 TNRIS LIDAR topographic maps to delineate watershed limits and sub-basins
3. Compare delineated watersheds with existing storm drain GIS shapefiles to verify sub-basin alignments. Prepare hydrologic watershed map.
4. Develop a fully developed conditions hydrologic land use map based on build-out zoning and land use data. Calculate fully developed conditions land use hydrologic parameters.
5. Prepare modified puls flood routing data from hydraulic models prepared in Task 3
6. Develop hydrologic models in HEC-HMS to calculate peak discharges for the 1-, 2-, 5-, 10-, 25-, 50-, 100-, and 500-year storm events

## **Task 3 – Hydraulic Analysis**

This scope includes the tasks necessary to determine water surface elevations and limits of flooding for the frequency storm events specified in Task 2. The study reaches will include the following streams:

- Valley View Branch
- Valley View Trib 1
- Unnamed Zone A (near Brown Trail)

#### **A. Existing Conditions Hydraulic Analysis with Fully Developed Hydrology**

1. Develop existing conditions hydraulic models for the study streams in HEC-RAS utilizing 2009 TNRS LIDAR, supplemented with field survey cross-sections
2. Incorporate bridge/culvert as-built plans and field surveyed data into hydraulic model
3. Execute existing conditions flood profiles for the 1-, 2-, 5-, 10-, 25-, 50-, 100-, and 500-year storm events
4. Prepare floodway models
5. Delineate the limits of the existing conditions hydraulic model for the 100-year and 500-year floodplain and floodway in GIS format
6. Compare existing conditions flood profiles to FEMA FIS flood profiles

#### **Task 4 – Flooding Assessment and Conceptual Alternative Improvement Analysis**

**Flooding Assessment** - Utilizing the floodplains and profiles, identify the locations of potential flood damage and quantify the flooding problems (i.e. number of structures in the floodplain).

##### **A. Identify the Flooding Problems**

1. Based on the calculated flood elevations and delineated floodplains, determine the structures inundated by each of the modeled storm events.
2. Based on the fully developed conditions analysis and citizen drainage complaints, identify areas of needed improvements, including undersized bridge/culvert structures, undersized improved channel sections, and flooded overbank areas

**Conceptual Alternative Improvement Analysis** - This scope includes preparation of structural and non-structural improvement solutions to help reduce or eliminate the identified flood problems within the studied watersheds. This task will be limited to a maximum of 5 projects based on those projects believed to provide the greatest benefit to cost.

##### **A. Structural Improvements**

1. Evaluate/size existing undersized improved channels and natural channels to reduce computed water surface elevations and floodplain widths
  - a. Evaluate channel armoring methods, including concrete, rock riprap, gabions, turf reinforcement matting, bio-engineered slope protection, etc.
  - b. Determine locations of and minimize potential impacts to jurisdictional waters of the United States (i.e. wetlands)
2. Evaluate/size existing undersized bridge/culvert structures and future bridge/culvert structures to:
  - a. Reduce computed water surface elevations and floodplain widths
  - b. Remove roadway crossings from inundation of 100-year flood elevations (examine raising roadway elevation or increasing bridge/culvert capacities or a combination of both)
3. Evaluate combination of channel and bridge/culvert improvement alternatives to increase the flood reduction that can be obtained
4. Prepare preliminary quantities and estimates of probable cost to implement selected structural improvement alternatives

## **B. Non-structural improvement alternatives**

1. Evaluate non-structural improvement alternatives, including acquisition (relocation), elevation, and open space preservation.
2. Prepare preliminary estimates of probable cost to implement selected non-structural improvement alternatives

## **C. Evaluation and Prioritization of Alternatives**

1. Evaluate potential improvements based on benefits to the City and cost of the improvements
2. Meet with City staffs to discuss potential improvement alternatives
3. Based on City input, prioritize recommended improvements based on benefits and costs and if the improvements are public benefits (address wide-ranging needs) or private benefits (address individual property owner needs)
4. Summarize advantages and disadvantages of various improvement alternatives and effect on properties, structures, and roadways to be removed from flood hazard areas
5. Develop phasing and implementation plans of prioritized improvement alternatives for future CIP funding

## **Task 5 – Project Management / Final Report**

This scope includes the coordination and communication procedures to be implemented between the Cities and Half Associates in completion of this project

### **A. Project Coordination and Management**

1. Conduct periodic project status meetings with the City of Hurst, City of Bedford, and City of Fort Worth. Meetings shall be to update the Cities on project milestones such as hydrology and hydraulic results, initial alternative solutions, final alternative solutions, etc.
2. Conduct one Technical Advisory Meeting with the City of Hurst, City of Bedford and City of Fort Worth to discuss the study results and alternative improvement recommendations.
3. Conduct one Public Meeting with stakeholders in the studied watersheds to discuss results and recommendations of study
4. Prepare monthly progress reports for City of Hurst, City of Bedford, and City of Fort Worth, identifying work accomplished, work to be done, and outstanding issues that need attention

### **B. Deliverables/Final Report**

1. Prepare Master Drainage Plan Report including procedures, results, and recommendations. The report will include technical data utilized in preparation of the study in digital format, including hydrologic and hydraulic models and shapefiles
2. Issue draft report for City staffs' review
3. Incorporate staff comment revisions to Final Report.
4. Deliver two (2) copies of Final Report to the City of Hurst, (2) copies to the City of Bedford, and two (2) copies to the City of Fort Worth

**Items not included in the Scope of Work that could be provided for additional fee**

- A. FEMA LOMR submittals are not included in this scope
- B. Additional Elevations Certificates and Field Surveys beyond those listed in this scope
- C. 2D Study of complex overflow at SH 121/183 and Norwood Drive. Additional detailed modeling and coordination with the City of Bedford would be necessary to develop alternatives for this area.

**EXHIBIT 'A' - ATTACHMENT 'B'**

**FEE SUMMARY**

**Master Drainage Plan for Valley View Branch Watershed  
City of Hurst, City of Fort Worth, and City of Bedford Texas**

Task Budget						
Task	Description	TWDB	City of Hurst	City of Bedford	City of Fort Worth	Budget for Consultant Contract
1	Data Collection and Field Work	\$7,500	\$6,300	-	\$1,200	\$15,000
2	Hydrologic Analysis	\$9,000	\$7,600	-	\$1,400	\$18,000
3	Hydraulic Analysis	\$20,000	\$16,000	\$1,000	\$3,000	\$40,000
4	Flood Assess /Alt. Improvement Analysis	\$12,500	\$10,700	-	\$1,800	\$25,000
5	Project Management / Final Report	\$12,500	\$9,900	\$1,000	\$1,600	\$25,000
	<b>Total Project Cost</b>	<b>\$61,500</b>	<b>\$50,500</b>	<b>\$2,000</b>	<b>\$9,000</b>	<b>\$123,000</b>

Expense Budget			
Item No.	Category	Total Budget	Sub-Contractor (Consultant)
1	Salaries & Wages	\$ -	\$ 38,500.00
2	Fringe	\$ -	\$ 26,000.00
3	Travel	\$ -	\$ 3,000.00
4	Subcontract		
	Engineering Consultant	\$ 123,000.00	
5	Other Expenses	\$ -	\$ 5,000.00
6	Overhead	\$ -	\$ 39,000.00
7	Profit	\$ -	\$ 11,500.00
	<b>Totals</b>	<b>\$ 123,000.00</b>	<b>\$ 123,000.00</b>

**SCHEDULE**

<u>Task Description</u>	<u>Completion Date</u>
City of Hurst Notice to Proceed .....	15 November 2015
Data Collection.....	20 December 2015
Hydrologic Analysis .....	1 March 2016
Hydraulic Analysis .....	1 May 2016
Flood Damage Assessment.....	1 August 2016
Conceptual Alternative Improvement Analysis .....	1 October 2016
Project Development .....	1 December 2016

## EXHIBIT 'A' - ATTACHMENT 'C'

**Half Associates  
Rate Schedule**

<b>Class</b>	<b>Class Description</b>	<b>Min</b>	<b>Max</b>
111	Civil Gen ASCE Grade 1	87.91	106.15
112	Civil Gen ASCE Grade 2	91.23	114.45
113	Civil Gen ASCE Grade 3	104.50	122.74
114	Civil Gen ASCE Grade 4	112.79	165.87
115	Civil Gen ASCE Grade 5	143.47	213.97
116	Civil Gen ASCE Grade 6	208.99	278.65
117	Civil Gen ASCE Grade 7	238.85	273.68
211	Environmental Scientist Level 1	74.64	77.96
212	Environmental Scientist Level 2	92.06	92.06
213	Environmental Scientist Level 3	102.01	114.45
214	Environmental Scientist Level 4	114.45	174.99
215	Environmental Scientist Level 5	184.94	184.94
221	GIS Entry Level	68.00	72.15
222	GIS Grade 2	73.81	73.81
223	GIS Grade 3	86.75	92.88
224	GIS Grade 4	92.06	106.98
225	GIS Grade 5	109.47	131.03
311	Draftsman Civil Level 1	51.75	62.10
312	Draftsman Civil Level 2	58.65	58.65
313	Draftsman Civil Level 3	65.21	77.63
314	Draftsman Civil Level 4	75.90	94.01
315	Draftsman Civil Level 5	94.01	114.71
410	Rodman	56.06	81.08
420	Instrument Man	51.75	86.25
430	Party Chief	58.65	87.98
435	Survey Technician	62.10	101.78
440	Surveyor-In-Training SIT	72.45	87.98
445	Registered Prof Land Svyr	117.76	169.18
450	Survey Dept Head	167.52	167.52
580	Secretary	51.75	94.01
700	Summer/Co-op/Temp	32.78	32.78

City Council Staff Report

SUBJECT: Consider authorizing the city manager to purchase a 2016 Ford F-250 pickup for the Emergency Medical Services (EMS) Coordinator

Supporting Documents:	
	Meeting Date: 1/12/2016 Department: Fleet Service Reviewed by: MH City Manager Review:

**Background/Analysis:**

Funding has been approved in the FY2015-2016 budget for the purchase of a replacement vehicle, (1) one 2016 Ford F-250 pickup, unit 2034, to be utilized by the Fire Department’s Emergency Medical Services Coordinator. The existing vehicle has been depreciated in the Fleet Services Fund and the proposed replacement truck will be purchased at a discounted price through the Texas Smartbuy program.

**Funding and Sources:**

Funding is available in the FY2015-2016 budget Fleet Services capital account.

**Recommendation:**

Staff recommends City Council authorize the city manager to purchase (1) one 2016 Ford F-250 pickup from approved vendor Sam Pack’s Five Star Ford, in the amount of \$30,833.67.

City Council Staff Report

SUBJECT: SP-15-11 Professional Precinct Center, a site plan for Lot 1, Block 1, Professional Precinct Center Addition, being .85 acre located at 7040 Precinct Line Road

Supporting Documents:

Area map  
 Legal notice  
 Ownership data  
 Site plan – Exhibit A  
 Landscape plan – Exhibit B  
 Building elevation – Exhibit C  
 Monument sign – Exhibit D

Meeting Date: 1/12/2016  
 Department: Development  
 Reviewed by: Steve Bowden  
 City Manager Review:

Background/Analysis:

Prototype Construction, on behalf of Professional Precinct Center, has made an application for a site plan for Lot 1, Block 1, Professional Precinct Center Addition, being .85 acre located at 7040 Precinct Line Road. The property is zoned O2-PD (Office Planned Development). A final plat is also on this agenda.

The applicant is requesting the site plan in order to construct a single story medical office and office building with 4,864 square feet.

This property is currently vacant. The site plan indicates closing two (2) residential driveways and constructing one new commercial driveway. This site is challenged by useable space because of the 50 ft. ONCOR transmission easement on the east side of the property. The applicant is proposing a single-story office building facing west with a one-way drive around the building. A fire lane will be provided on the north end of the property, which will allow fire enough hose lay to protect the site.

The office building elevation indicates a tan stucco and brown brick veneer finish with Austin stone accents around the perimeter. There will be a pitched roof with Spanish tiles over the entrances and composition shingles on the remainder. This building will have wall packs for lighting; there are no light poles planned for this development.

The applicant is requesting three (3) tenant signs on the west elevation. These signs will not exceed the sign area permitted by sign ordinance. They are also requesting one multi-tenant monument sign that is eight (8) ft. tall with 40 sq. ft. per face.

The applicant will be maintaining many of the mature trees as a natural buffer yard along the rear of the property. ONCOR will not allow any structures or irrigation within the easement, so the applicant is requesting the existing trees in lieu of a screening fence on the north and east property line. The lot on the south is zoned O2-PD. The lot on the north has a 20 ft. drainage and utility easement which also limits a screening wall.

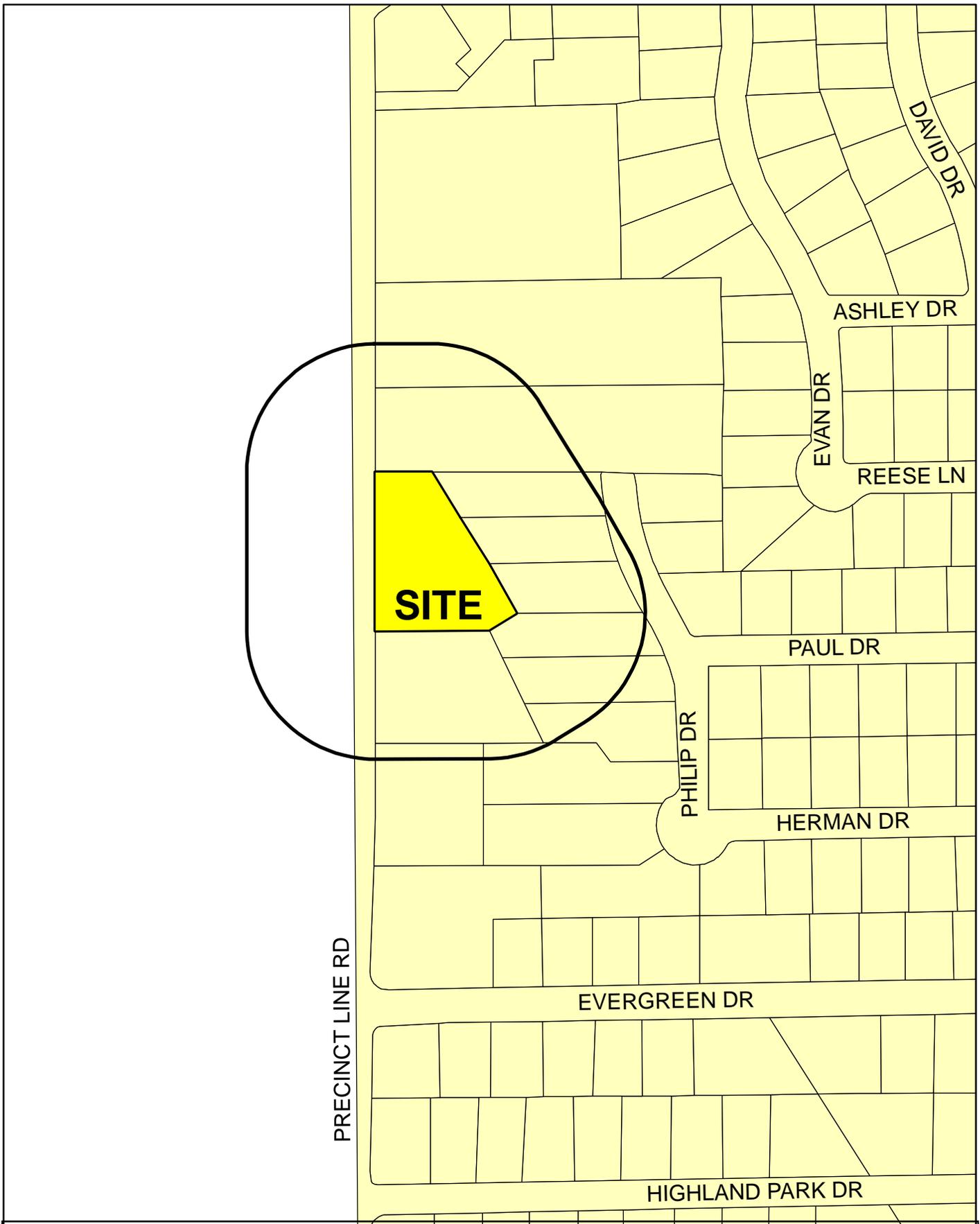
The applicant is maintaining 116 caliper inches of trees and will be providing six (6) Shumard Oaks, five (5) Cedar Elms, four (4) Chinese Pistaches, two (2) Live Oaks, Silverado Sage, Mexican Feather grass, Purple Wintercreeper, and Bermuda sod.

**Funding and Sources:**

There is no fiscal impact.

**Recommendation:**

The Planning and Zoning Commission met on Monday, January 4, 2016, and voted 7-0 to recommend approval of SP-15-11 Professional Precinct Center.



<p>CASE NO: SP-15-11 Professional Precinct Center</p>	<p>LEGAL DESCRIPTION: Lot 1, Block 1 Professional Precinct Center</p>	<p>AGENDA DATE: 01/12/2016</p>
<p>REQUESTED ACTION: Site Plan</p>		<p>LOCATION: 7040 Precinct Line Rd.</p>



SP-15-11

**LEGAL NOTICE**

**A PUBLIC HEARING WILL BE HELD BY THE HURST CITY COUNCIL ON TUESDAY, JANUARY 12, 2016 AT 6:30 P.M. AT HURST CITY HALL, 1505 PRECINCT LINE ROAD TO CONSIDER A SITE PLAN ON LOT 1, BLOCK 1 PROFESSIONAL PRECINCT CENTER ADDITION, BEING .85 ACRE LOCATED AT 7040 PRECINCT LINE RD.**

**Professional Precinct Center**  
Lot 1 Block 1 Professional Precinct Center Addition  
7040 Precinct Line Rd.



SP-15-11

**APPLICATION FOR SITE PLAN  
OWNERSHIP DATA**

**TO THE PLANNING and ZONING COMMISSION:**

**The following described real property is under application for approval of a site plan.**

Professional Precinct Center  
Site Plan  
Lot 1, Block 1  
Professional Precinct Center Addition  
7040 Precinct Line Rd.

**The following is a list of the property owners, legal description of their property, and mailing address of the owners of the property within 200 feet of the above-described property, which is under application for a site plan:**

**Applicant:**

<b>PROPERTY OWNER</b>	<b>LEGAL DESCRIPTION</b>	<b>ADDRESS</b>
JACKSON MICHAEL	BLK 3 LOT 16 Wintergreen North II	3101 PHILLIP DR Hurst, TX 76054
SCHULTHEIS JAMES	ABST A 420 TR3A1 DOTY, W A Survey	6513 SMITHFIELD RD STE B N. Richland Hills, TX 76182
TOWNSEND JERRY W	BLK 3 LOT 17 Wintergreen North II	3105 PHILLIP DR Hurst, TX 76054
RAMEY LISA	BLK 1 LOT 2A Jones Addition	7140 PRECINCT LINE RD Hurst, TX 76054
DOUGHTY TERRY W	BLK 1 LOT 1A Jones Addition	7200 PRECINCT LINE RD Hurst, TX 76054
NGUYEN DANNY BA	ABST A 420 TR3A4 DOTY, WA Survey	401 EVENTIDE WAY Colleyville, TX
SCHULTE JAMES P	BLK 3 LOT 21 Wintergreen North II	3125 PHILLIP DR Hurst, TX 76054
WHITINGTON MATTHEW	BLK 3 LOT 20 Wintergreen North II	3121 PHILLIP DR Hurst, TX 76054
TURNER MICHAEL SCOTT	BLK 1 LOT 19 Wintergreen North II	3113 PHILLIP DR Hurst, TX 76054
SAMPLES STEVEN R	BLK 3 LOT 18 Wintergreen North II	3109 PHILLIP DR Hurst, TX 76054
HALL DANIEL E	BLK 11 LOT 7 Wintergreen North II	3097 PHILLIP DR Hurst, TX 76054
HURST CITY OF	ABST A 420 TR 3A5 DOTY, W A Survey	1505 PRECINCT LINE RD Hurst, TX 76054

<b>OCCUPANT</b>	ABST A 420 TR3A1 DOTY, W A Survey	7032 PRECINCT LINE RD Hurst, TX 76054
<b>OCCUPANT</b>	ABST A 420 TR3A4 DOTY, WA Survey	7040 PRECINCT LINE RD Hurst, TX 76054
<b>OCCUPANT</b>	ABST A 420 TR 3A5 DOTY, W A Survey	7024 PRECINCT LINE RD Hurst, TX 76054



**EXHIBIT A**

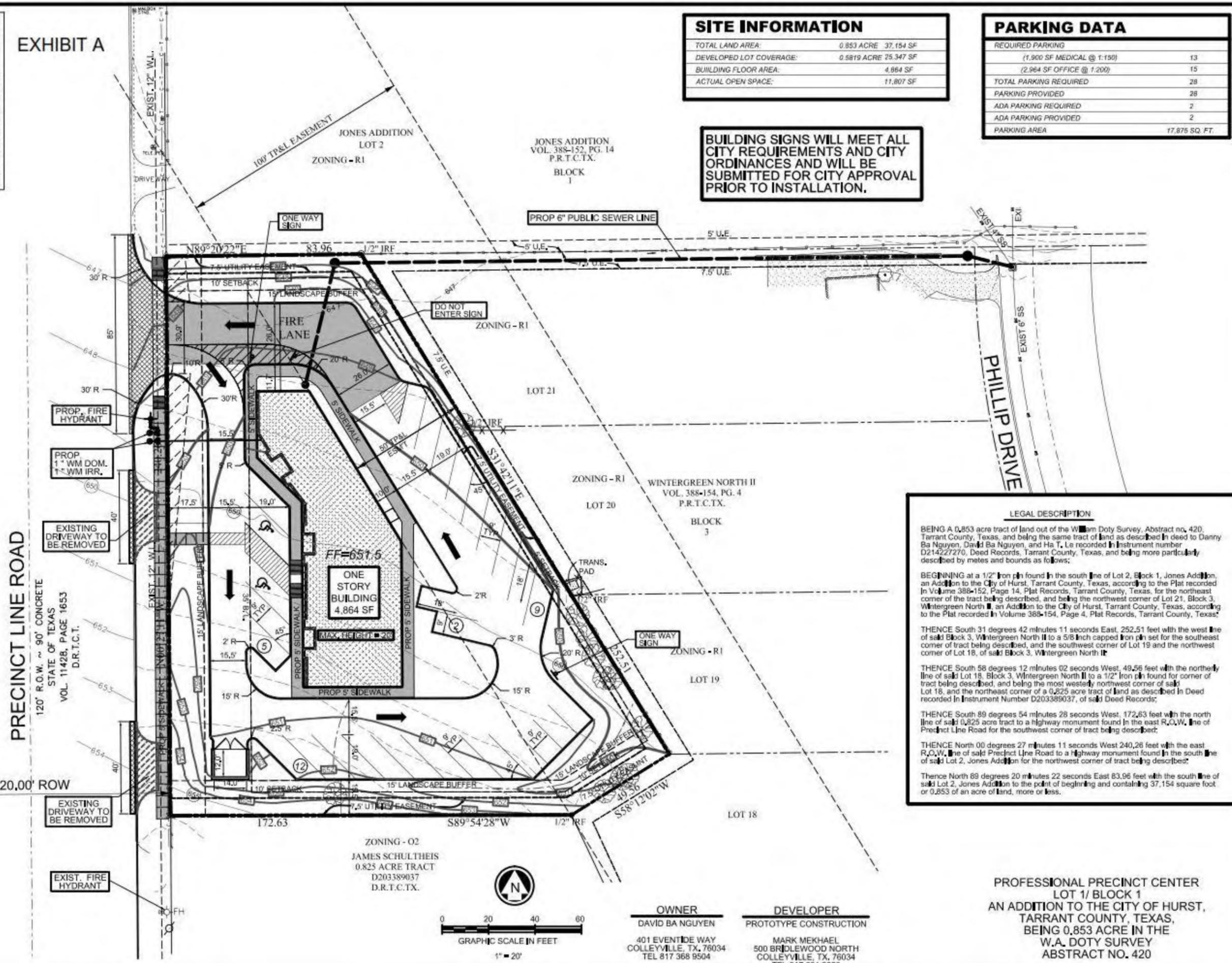
**SITE INFORMATION**

TOTAL LAND AREA:	0.853 ACRE	37,154 SF
DEVELOPED LOT COVERAGE:	0.5819 ACRE	25,347 SF
BUILDING FLOOR AREA:		4,864 SF
ACTUAL OPEN SPACE:		11,807 SF

**PARKING DATA**

REQUIRED PARKING	
(1,900 SF MEDICAL @ 1:150)	13
(2,964 SF OFFICE @ 1:200)	15
TOTAL PARKING REQUIRED	28
PARKING PROVIDED	28
ADA PARKING REQUIRED	2
ADA PARKING PROVIDED	2
PARKING AREA	17,875 SQ. FT.

**BUILDING SIGNS WILL MEET ALL CITY REQUIREMENTS AND CITY ORDINANCES AND WILL BE SUBMITTED FOR CITY APPROVAL PRIOR TO INSTALLATION.**



**LEGAL DESCRIPTION**

BEING A 0.853 acre tract of land out of the W.A. Doty Survey, Abstract no. 420, Tarrant County, Texas, and being the same tract of land as described in deed to Danny Ba Nguyen, David Ba Nguyen, and Ha T. Le recorded in instrument number D214227270, Deed Records, Tarrant County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2" iron pin found in the south line of Lot 2, Block 1, Jones Addition, an Addition to the City of Hurst, Tarrant County, Texas, according to the Plat recorded in Volume 388-152, Page 14, Plat Records, Tarrant County, Texas, for the northeast corner of the tract being described, and being the northwest corner of Lot 21, Block 3, Wintergreen North II, an Addition to the City of Hurst, Tarrant County, Texas, according to the Plat recorded in Volume 388-154, Page 4, Plat Records, Tarrant County, Texas;

THENCE South 31 degrees 42 minutes 11 seconds East, 252.51 feet with the west line of said Block 3, Wintergreen North II to a 5/8 inch capped iron pin set for the southeast corner of tract being described, and the southwest corner of Lot 19 and the northwest corner of Lot 18, of said Block 3, Wintergreen North II;

THENCE South 58 degrees 12 minutes 02 seconds West, 49.56 feet with the northerly line of said Lot 18, Block 3, Wintergreen North II to a 1/2" iron pin found for corner of tract being described, and being the most westerly northwest corner of said Lot 18, and the northeast corner of a 0.825 acre tract of land as described in Deed recorded in Instrument Number D203389037, of said Deed Records;

THENCE South 89 degrees 54 minutes 28 seconds West, 172.63 feet with the north line of said 0.825 acre tract to a highway monument found in the east R.O.W. line of Precinct Line Road for the southwest corner of tract being described;

THENCE North 00 degrees 27 minutes 11 seconds West 240.26 feet with the east R.O.W. line of said Precinct Line Road to a Highway monument found in the south line of said Lot 2, Jones Addition for the northwest corner of tract being described;

Thence North 89 degrees 20 minutes 22 seconds East 83.96 feet with the south line of said Lot 2, Jones Addition to the point of beginning and containing 37,154 square foot or 0.853 of an acre of land, more or less.

**A.N.A. CONSULTANTS, L.L.C.**  
 ENGINEERS and SURVEYORS  
 Thompson Terrace, Colleyville, TX 76034  
 Tel: 817-335-9900 Fax: 817-335-9955  
 TBPPE Firm No: 20  
 TBPPLS Firm No: 10050000

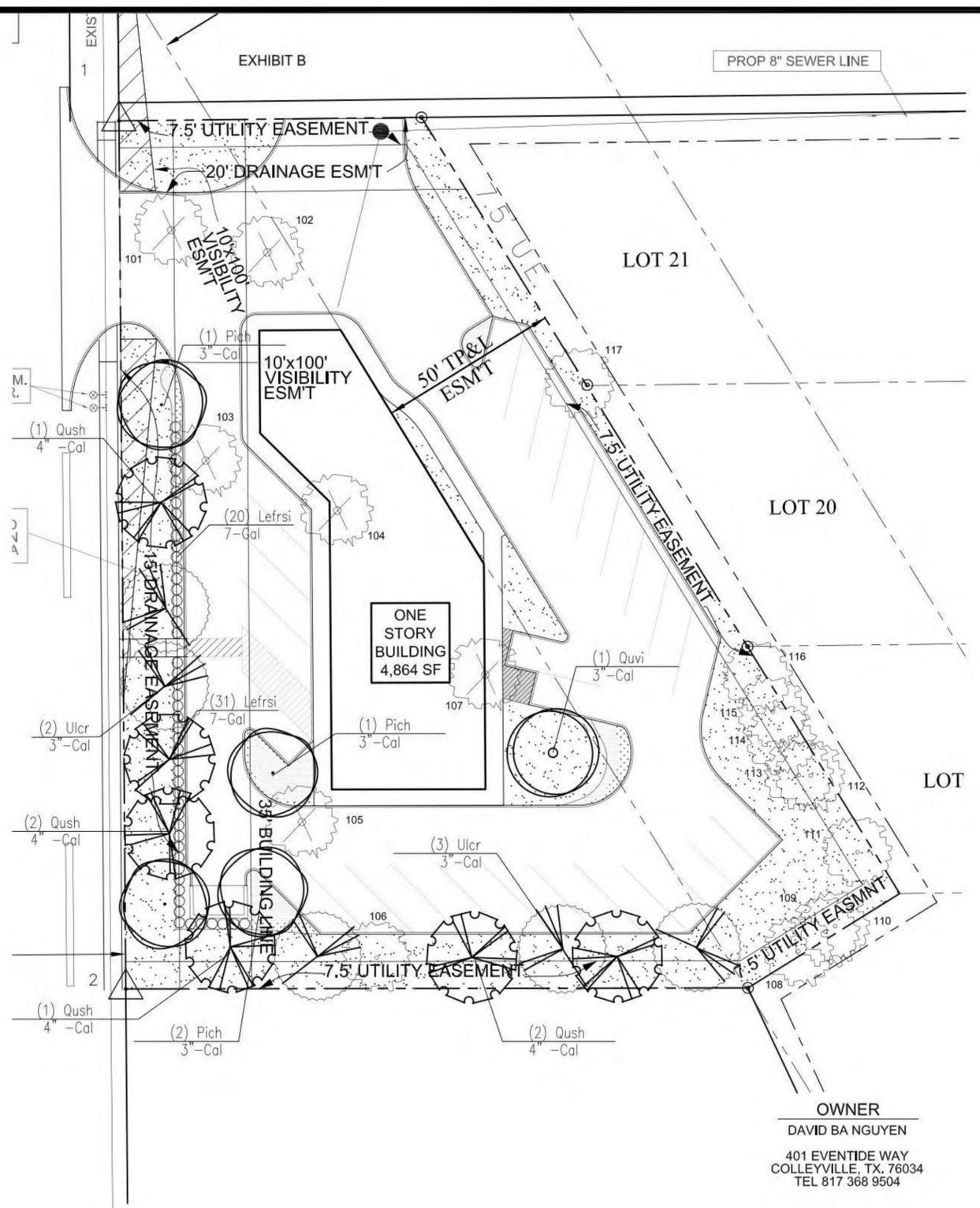
NO.	DATE	REVISION DESCRIPTION	DRAWN BY	CHECKED BY	SUBMITTAL NO.

**SITE PLAN LAYOUT**  
**PRECINCT PROFESSIONAL CENTER**  
 7040 PRECINCT LINE ROAD

PROFESSIONAL PRECINCT CENTER  
 LOT 1/ BLOCK 1  
 AN ADDITION TO THE CITY OF HURST,  
 TARRANT COUNTY, TEXAS,  
 BEING 0.853 ACRE IN THE  
 W.A. DOTY SURVEY  
 ABSTRACT NO. 420

15-0138  
 CASE NO. 15-06  
 SHEET NO. 1

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**OWNER**  
**DAVID BA NGUYEN**  
 401 EVENTIDE WAY  
 COLLEYVILLE, TX. 76034  
 TEL 817 368 9504

**CAUTION!!!**  
 UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG:  
 TEXAS EXCAVATION SAFETY SYSTEM (TESS)  
 1-800-344-8377  
 TEXAS ONE CALL SYSTEMS  
 1-800-245-4545  
 LONE STAR NOTIFICATION CENTER  
 1-800-669-8344 EXT. 5



TEMPORARY IRRIGATION WILL BE REQUIRED TO ESTABLISH TURF IN ALL DISTURBED AREAS WITHOUT A PERMANENT IRRIGATION SYSTEM. SOD ADJACENT TO 407 AND ANY PARKING LOT ISLAND WITH TURF. HYDROMULCH TURF IN ALL OTHER DISTURBED AREAS AS IDENTIFIED ON GRADING AND EROSION CONTROL PLANS. ALL FRONTAGE AND SIDE YARDS ARE TO RECEIVE IRRIGATION.



**TREE SURVEY**

NO.	DBH	SPECIES	COMMENT
101	16"	MESQUITE	REMOVE-EXEMPT
102	16"	MESQUITE	REMOVE-EXEMPT
103	24"	OAK	REMOVE
104	14"	MESQUITE	REMOVE-EXEMPT
105	18"	MESQUITE	REMOVE-EXEMPT
106	12"	ELM	PRESERVE-POOR
107	16"	ELM	REMOVE-EXEMPT
108	16"	ELM	PRESERVE-POOR
109	12"	ELM	PRESERVE
110	12"	ELM	PRESERVE
111	8"	HACKBERRY	PRESERVE
112	12"	HACKBERRY	PRESERVE
113	10"	HACKBERRY	PRESERVE
114	8"	HACKBERRY	PRESERVE
115	12"	ELM	PRESERVE
116	10"	HACKBERRY	PRESERVE
117	6"	MESQUITE	PRESERVE

**TOTAL**

TOTAL CALIPER INCHES	205"
TOTAL CALIPER INCHES PRESERVED	116"
TOTAL CALIPER INCHES REMOVED	89"
TOTAL PROTECTED CALIPER INCHES REMOVED	24"

TOTAL MITIGATION REQUIRED:  
24" CALIPER INCHES

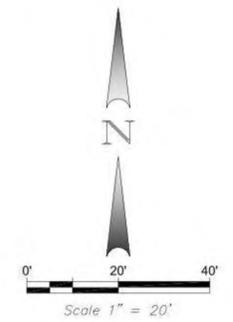
- (6) 4" TREES ADDED FOR MITIGATION

**CITY OF HURST COMMERCIAL LANDSCAPE REQUIREMENTS**

REQUIRED SITE LANDSCAPING	15% OF TOTAL SITE TO BE LANDSCAPE AREA	
	REQUIRED	PROVIDED
	37,153 SF X 15% = 5,573 SF	11,807 SF
REQUIRED LANDSCAPE SETBACK	MINIMUM 15' LANDSCAPE SETBACK	
	REQUIRED	PROVIDED
	15 LF	15 LF
REQUIRED STREET FRONTAGE TREES	1 TREE REQUIRED PER EVERY 50 FT OF FRONTAGE	
	REQUIRED	PROVIDED
	200 LF/50 = 4 TREES	4 TREES
REQUIRED STREET FRONTAGE SHRUBS	1 SHRUB REQUIRED PER EVERY 5 FT OF FRONTAGE	
	REQUIRED	PROVIDED
	200 LF/5 = 40 SHRUBS	51 SHRUBS
REQUIRED PARKING LOT LANDSCAPING	5% LANDSCAPE AREA REQUIRED	
	REQUIRED	PROVIDED
	5,573 SF X 5% = 279 SF	604 SF
REQUIRED PARKING LOT TREES	1 TREE PER EVERY 20 SPACES	
	REQUIRED	PROVIDED
	28 SPACES/20 = 1 TREE	1 TREE
BUFFER YARD REGULATION	15' OF LANDSCAPING BETWEEN DISTRICTS	
	REQUIRED	PROVIDED
	15'	15'
	6' MASONRY SCREEN WALL	VARIANCE REQUESTED
BUFFER YARD TREES	1 TREE PER 30 LF, 40% EVERGREEN	
	REQUIRED	PROVIDED
	N/A	N/A

- ALL LANDSCAPE AREAS TO BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM INSTALLED BY A LICENSED IRRIGATOR. SYSTEM TO INCLUDE RAIN AND FREEZE SENSORS.
- PARKING LOT SCREENED FROM STREET ROW.
- TREES REMOVED, BUT NOT IN THE BUILDABLE AREA TO BE MITIGATED INCH PER INCH.
- ALL LANDSCAPE ISLANDS SHALL BE LANDSCAPED WITH AT LEAST GROUND COVER AND ONE LARGE TREE.
- SITE WILL BE MAINTAINED IN ACCORDANCE WITH CITY OF HURST LANDSCAPE ORDINANCE, ARTICLE 13 a.

- PLANTING NOTES:**
- PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
  - ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
  - CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
  - ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
  - ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
  - CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
  - MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
  - PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
  - SEE DETAIL SHEET FOLLOWING FOR PLANTING DETAILS.
  - CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
  - IF EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE AS DIRECTED BY OWNER'S REPRESENTATIVE. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
  - QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
  - INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
  - AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
  - CONTRACTOR SHALL STAKE ALL TREE LOCATIONS FOR OWNER APPROVAL PRIOR TO PLANTING.



**LANDSCAPE PLAN**

Date: AUG 17, 2015  
 Drawn By: GAC  
 Checked By: JRF  
 Revisions:

**FAIN - CUPPETT**  
 LANDSCAPE ARCHITECTS, LLC  
 8223 Mac Clellan Blvd., Suite B  
 North Richland Hills, TX 76182-4781  
 817-479-0730  
 LANDSCAPE ARCHITECTURE • IRRIGATION DESIGN  
 PLANS AND OTHER SPACE PLANNING

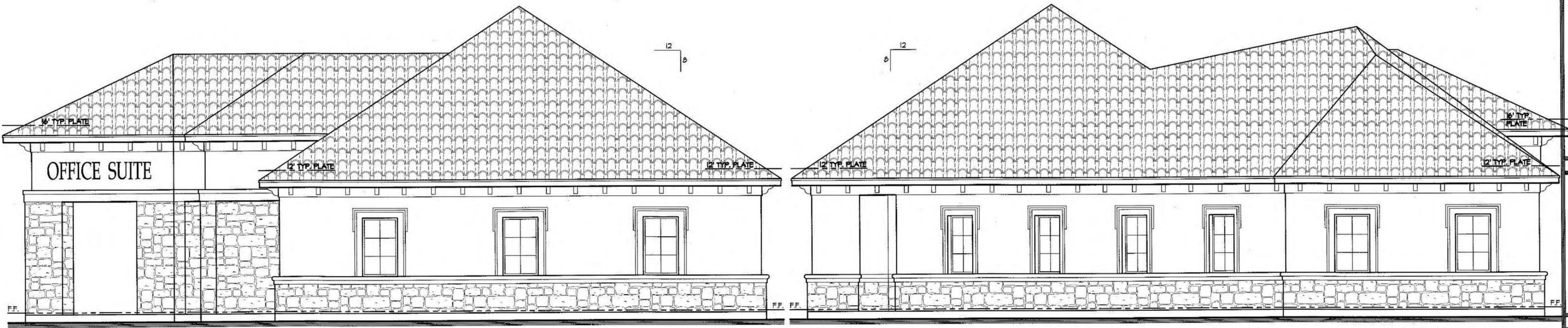


THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREGORY A. CUPPETT, ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND FOR PRINTING. PURSUANT TO THE RULES AND REGULATIONS OF THE TEXAS STATE BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE USER OF THIS FILE WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE ARKANSAS STATE BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECTS EXPRESS WRITTEN PERMISSION.

**PROTOTYPE CONSTRUCTION**  
 7040 PRECINCT LINE  
 HURST, TEXAS

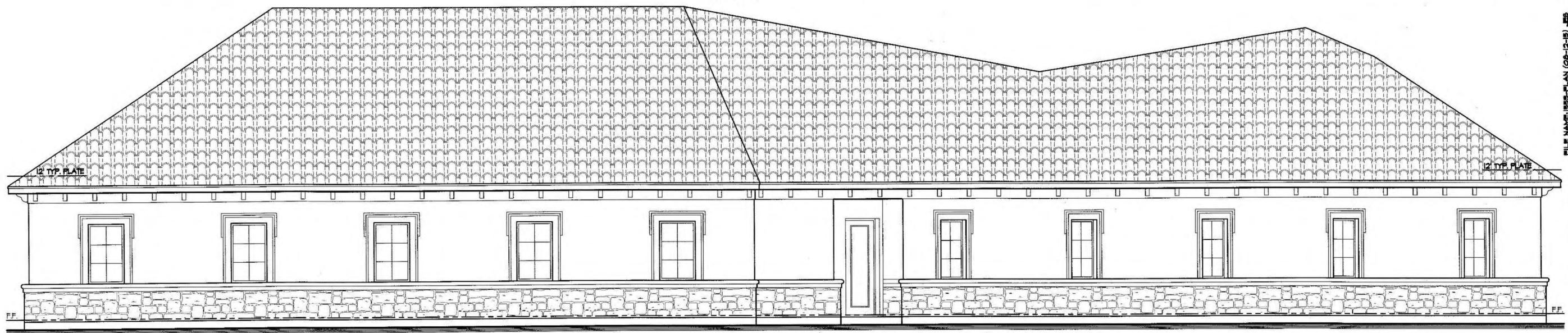


FRONT ELEVATION  
SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

LEFT SIDE ELEVATION  
SCALE: 1/4"=1'-0"



REAR ELEVATION  
SCALE: 1/4"=1'-0"

NOT FOR REGULATORY APPROVAL PERMITTING OR CONSTRUCTION

JOB #1955

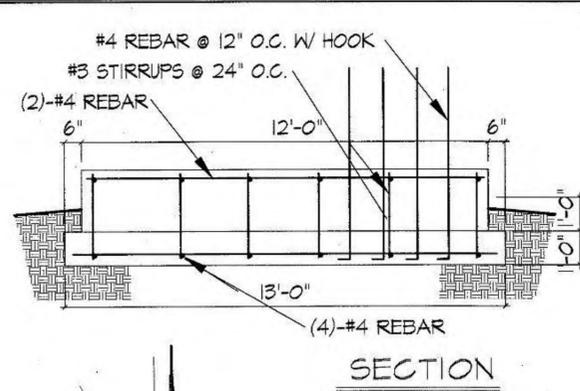
**BLAKE ARCHITECTS**  
1202 S. White Chapel Road  
Suite A  
Southlake, Texas 76092  
817-488-9397

PROTOTYPE CONSTRUCTION

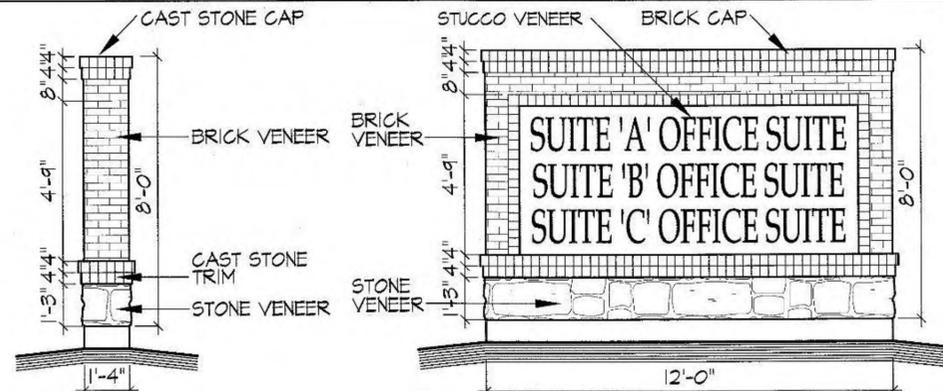
PRECINCT PROFESSIONAL BUILDING  
7040 PRECINCT LINE ROAD  
HURST, TEXAS

FILE NAME: 1955-PLAN (08-12-19).DWG

SHEET  
A-1  
OF 5A SHEETS

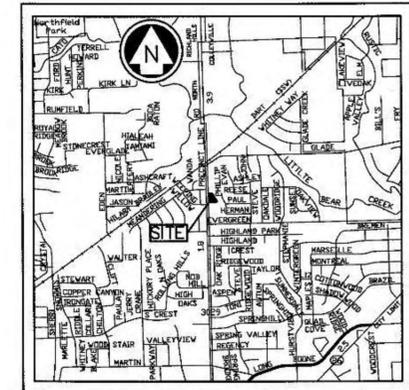


SECTION



SIGN SIDE ELEVATION

SIGN FRONT ELEVATION



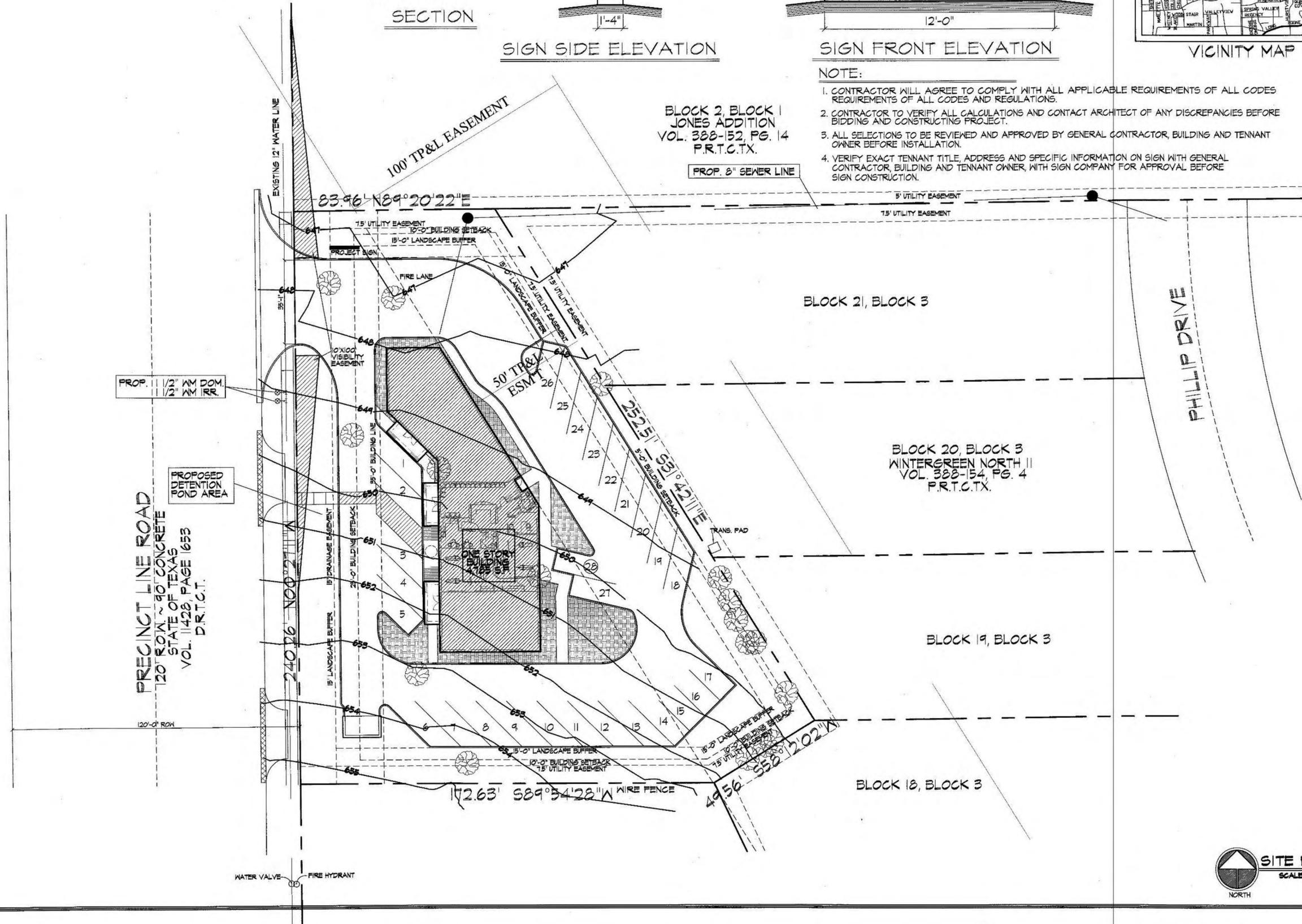
VICINITY MAP

NOTE:

1. CONTRACTOR WILL AGREE TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF ALL CODES REQUIREMENTS OF ALL CODES AND REGULATIONS.
2. CONTRACTOR TO VERIFY ALL CALCULATIONS AND CONTACT ARCHITECT OF ANY DISCREPANCIES BEFORE BIDDING AND CONSTRUCTING PROJECT.
3. ALL SELECTIONS TO BE REVIEWED AND APPROVED BY GENERAL CONTRACTOR, BUILDING AND TENANT OWNER BEFORE INSTALLATION.
4. VERIFY EXACT TENANT TITLE, ADDRESS AND SPECIFIC INFORMATION ON SIGN WITH GENERAL CONTRACTOR, BUILDING AND TENANT OWNER, WITH SIGN COMPANY FOR APPROVAL BEFORE SIGN CONSTRUCTION.

BLOCK 2, BLOCK 1  
JONES ADDITION  
VOL. 388-152, PG. 14  
P.R.T.C.T.X.

PROP. 8" SEWER LINE



PROP. 1/2" KM DOM.  
1/2" KM IRR.

PROPOSED  
DETENTION  
POND AREA

PRECINCT LINE ROAD  
120' ROW ~ 90' CONCRETE  
STATE OF TEXAS  
VOL. 11428, PAGE 1653  
D.R.T.C.T.

WATER VALVE FIRE HYDRANT

SITE PLAN  
SCALE: 1"=20'-0"  
NORTH

NOT FOR REGULATORY APPROVAL PERMITTING OR CONSTRUCTION

JOB #1555  
20/NOV/2015

**BLAKE ARCHITECTS**  
1202 S. White Chapel Road  
Southlake, Texas 76092  
Suite A  
817-488-9397

PRECINCT PROFESSIONAL BUILDING  
1040 PRECINCT LINE ROAD HURST, TEXAS

9 of 15 SHEETS  
SP SHEETS

FILE NAME: 1555-61220TH (11-20-15) HW. JES

ORDINANCE 2310

AN ORDINANCE ADOPTING A SITE PLAN APPROVAL FOR LOT 1, BLOCK 1, PROFESSIONAL PRECINCT ADDITION, BEING .85 ACRE LOCATED AT 7040 PRECINCT LINE ROAD, SP-15-11

WHEREAS, notice of a hearing before the Planning and Zoning Commission was sent to real property owners within 200 feet of the property herein described at least 10 days before such hearing; and,

WHEREAS, notice of a public hearing before the City Council was published in a newspaper of general circulation in Hurst at least 15 days before such hearing; and,

WHEREAS, notices were posted on the subject land as provided by the Zoning Ordinance; and,

WHEREAS, public hearings to change the site plan on the property herein described were held before both the Planning and Zoning Commission and the City Council, and the Planning and Zoning Commission has heretofore made a recommendation concerning the site plan change; and,

WHEREAS, the City Council is of the opinion that the site plan change herein effectuated furthers the purpose of zoning as set forth in the Comprehensive Zoning Ordinance and is in the best interest of the citizens of the City of Hurst.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HURST, TEXAS:

Section 1. THAT the Comprehensive Zoning Ordinance of the City of Hurst is hereby amended by adopting a site plan approval with exhibits "A-D" for Lot 1, Block 1, Precinct Center Addition, being .85 acre located at 7040 Precinct Line Road.

AND IT IS SO ORDERED.

Passed on the first reading on the 12th day of January 2016 by a vote of \_ to \_ .

Approved on the second reading on the 26<sup>th</sup> day of January 2016 by a vote of \_ to \_ .

ATTEST:

CITY OF HURST

---

Rita Frick, City Secretary

---

Richard Ward, Mayor

Approved as to form and legality:

---

City Attorney

City Council Staff Report

SUBJECT: SP-15-15 Slim Chickens, a site plan approval on Lot 5E, Block 1A, Olde Towne Square, being 1.10 acres located at 1420 Precinct Line Road

Supporting Documents:

Area map  
 Legal notice  
 Ownership data  
 Site plan – Exhibit A  
 Tree Removal – Exhibit B  
 Landscape plan - Exhibit C  
 Building elevations – Exhibits D-G  
 Lighting Plan – Exhibit H  
 Sign elevations – Exhibits I-K

Meeting Date: 1/12/2016  
 Department: Development  
 Reviewed by: Steve Bowden  
 City Manager Review:

Background/Analysis:

An application has been made, by Tim Kraftson with Slim Chickens, for a site plan approval on Lot 5E, Block 1A, Olde Towne Square, being 1.10 acres located at 1420 Precinct Line Road. The applicant is requesting the site plan to construct a new Slim Chickens restaurant with 2,910 square feet in the building, a 581 sq. foot patio, and a drive-thru. The property is zoned GB-PD (General Business Planned Development).

Slim Chickens is expanding their presence in Texas and has opened five (5) restaurants this year, with five (5) more proposed for 2016.

The site plan indicates the restaurant will be situated on the northwest corner of the Target parking lot just south of the Wells Fargo. The development will share access to Precinct Line and Bedford Eules Road.

Slim Chickens has a large volume of drive-thru traffic. The lot has been designed to allow a single drive-thru lane around the building, with the exit on the east side.

The building elevation indicates a brown brick veneer and a tan EIFS structure with rough cedar plank accents and cedar raftertails over the windows. The patio and entrance will have a galvanized metal roof.

There are two (2) light poles that will be relocated in the Target parking lot. The applicant is adding two additional poles that are 25 feet tall with shielded light covers. These fixtures are being added to increase safety in a dark area of the parking lot. There is no ambient light that will cross the property line or the adjacent homes on Cimmarron.

The applicant is requesting a building sign with 41.8 sq. ft. on the east and west elevation, and two building signs on the north and south elevation with a total of 53 sq. ft. They are also requesting a panel aluminum sign on the north side of the building with 32 sq. ft. The monument sign will be six (6) feet in height with 50 sq. ft. of sign area per face. The sign will be located on the northwest corner of the lot.

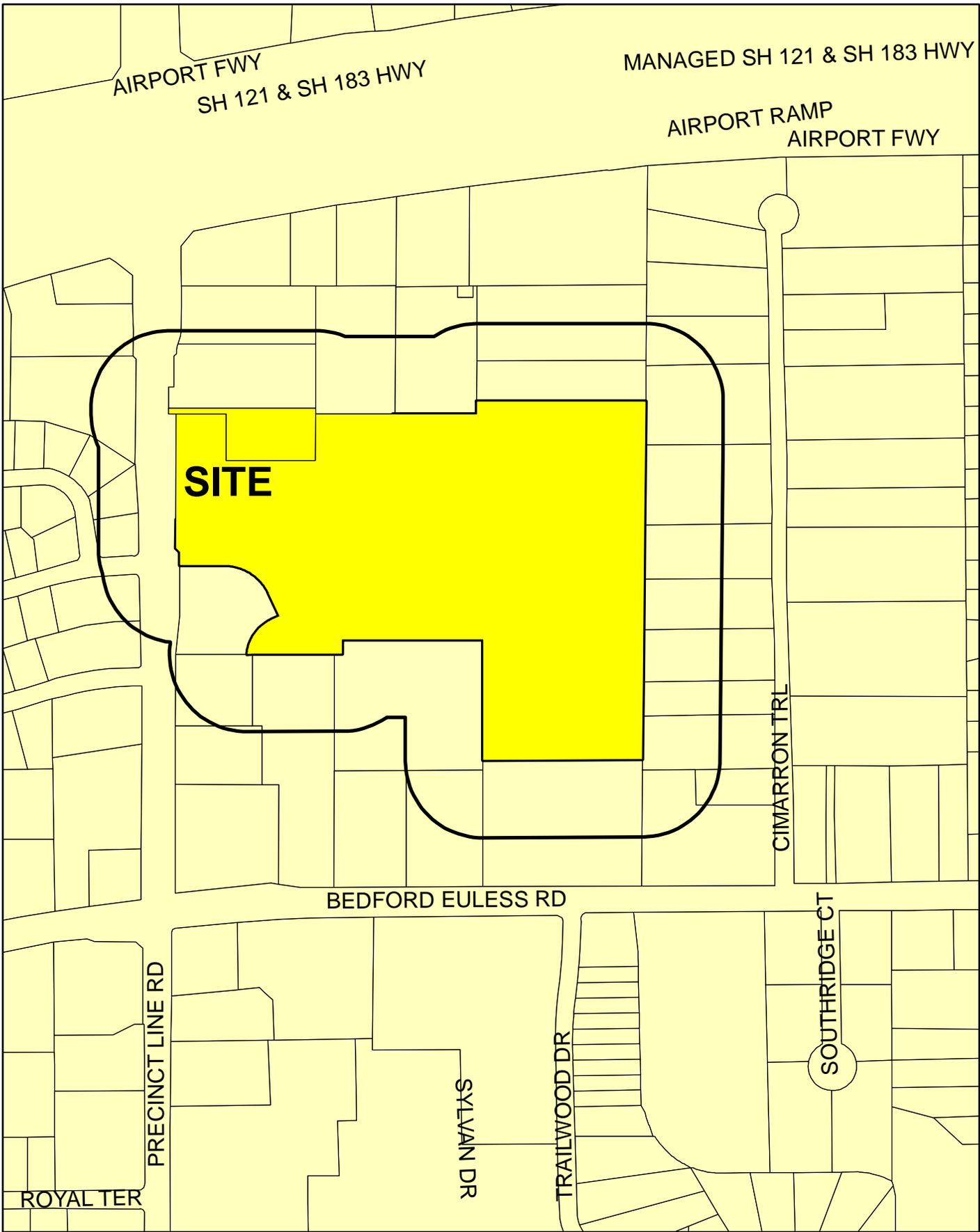
The applicant is preserving seven (7) Crape Myrtles and three (3) Live Oaks. They are proposing to add two (2) Shumard Red Oaks, four (4) Pistachios, four (4) Willow, five (5) Crape Myrtles, along with Dwarf Yaupon, Dwarf Burford, Knockout Roses, Red Yucca, Blue Sage, Mexican Feather grass, and Bermuda sod.

Funding and Sources:

There is no fiscal impact.

Recommendation:

The Planning and Zoning Commission met on Monday, January 4, 2016, and voted 7-0 to recommend approval of SP-15-15 Slim Chickens.



<p>CASE NO: SP-15-15 Slim Chickens</p>	<p>LEGAL DESCRIPTION: Lot 5E, Block 1A Olde Towne Square Addition</p>	<p>AGENDA DATE: 1/12/2016</p>
<p>REQUESTED ACTION: Site Plan</p>	<p>LOCATION: 1420 Precinct Line Rd.</p>	



SP-15-15

**LEGAL NOTICE**

**A PUBLIC HEARING WILL BE HELD BY THE HURST CITY COUNCIL ON TUESDAY, JANUARY 12, 2016 AT 6:30 P.M. AT HURST CITY HALL, 1505 PRECINCT LINE ROAD TO CONSIDER A SITE PLAN ON LOT 5E, BLOCK 1A OLDE TOWNE SQUARE ADDITION, BEING 1.10 ACRES LOCATED AT 1420 PRECINCT LINE ROAD**

**Slim Chickens**

Lot 5E, Block 1A Olde Towne Square Addition  
1420 Precinct Line Road



SP-15-15

**APPLICATION FOR SITE PLAN  
OWNERSHIP DATA**

**TO THE PLANNING and ZONING COMMISSION:**

**The following described real property is under application for approval of a site plan revision.**

Slim Chickens  
Site Plan  
Lot 5E, Block 1A Olde Towne Square Addition  
1420 Precinct Line Rd

**The following is a list of the property owners, legal description of their property, and mailing address of the owners of the property within 200 feet of the above-described property, which is under application for a site plan:**

<b>PROPERTY OWNER</b>	<b>LEGAL DESCRIPTION</b>	<b>ADDRESS</b>
HOLT CHARLES R	BLK 1 LOT 3a2 ADAMS ACRES	1405 CIMARRON TR HURST, TX 76053
CANTU DIANNA	BLK 3 LOT 2 LUCAS ESTATES	804 OVERHILL CT HURST, TX 76053
GREGG GUION TR III	BLK 1a LOT 5B OLDE TOWNE SQUARE	3838 OAK LAWN AVE STE 1416 DALLAS, TX 75219
HANDY JAMES R	BLK 2 LOT 1A LUCAS ESTATES	1409 PRECINCT LINE RD HURST, TX 76053
CARR JOHN SAMUEL	BLK 3 LOT 3 LUCAS ESTATES	PO BOX 515 HURST, TX 76053
COOPER NATHAN J	BLK 1 LOT 1B2 ADAMS ACRES	1321 CIMARRON TR HURST, TX 76053
WEST LLC	BLK 3 LOT 1 LUCAS ESTATES	1100 INTERNATIONAL PKWY SUNRISE, FL 33323
MINTON LAVELDA C	BLK 1 LOT 15 OLDE TOWN SQUARE	800 OVERHILL CT HURST, TX 76053
DFL PROPERTIES THREE LLC	BLK 1 LOT 8 OLDE TOWN SQUARE	2009 ESTES PARK RD SOUTHLAKE, TX 76092
GREGG GUION III	BLK 1 LOT 9B OLDE TOWN SQUARE	3838 OAK LAWN AVE STE 1416 DALLAS, TX 75219
MEDLAN FUNERAL SERVICE	BLK 1 LOT 1B OLDE TOWN SQUARE	705 AIRPORT FWY HURST, TX 76053
WELLS FARGO BANK NA	BLK 1 LOTS 4C ADAMS ACRES	200 LOMAS BLVD NW STE 1110ALBUQUERQUE, NM

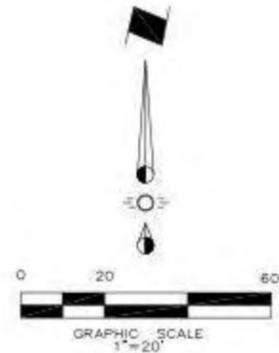
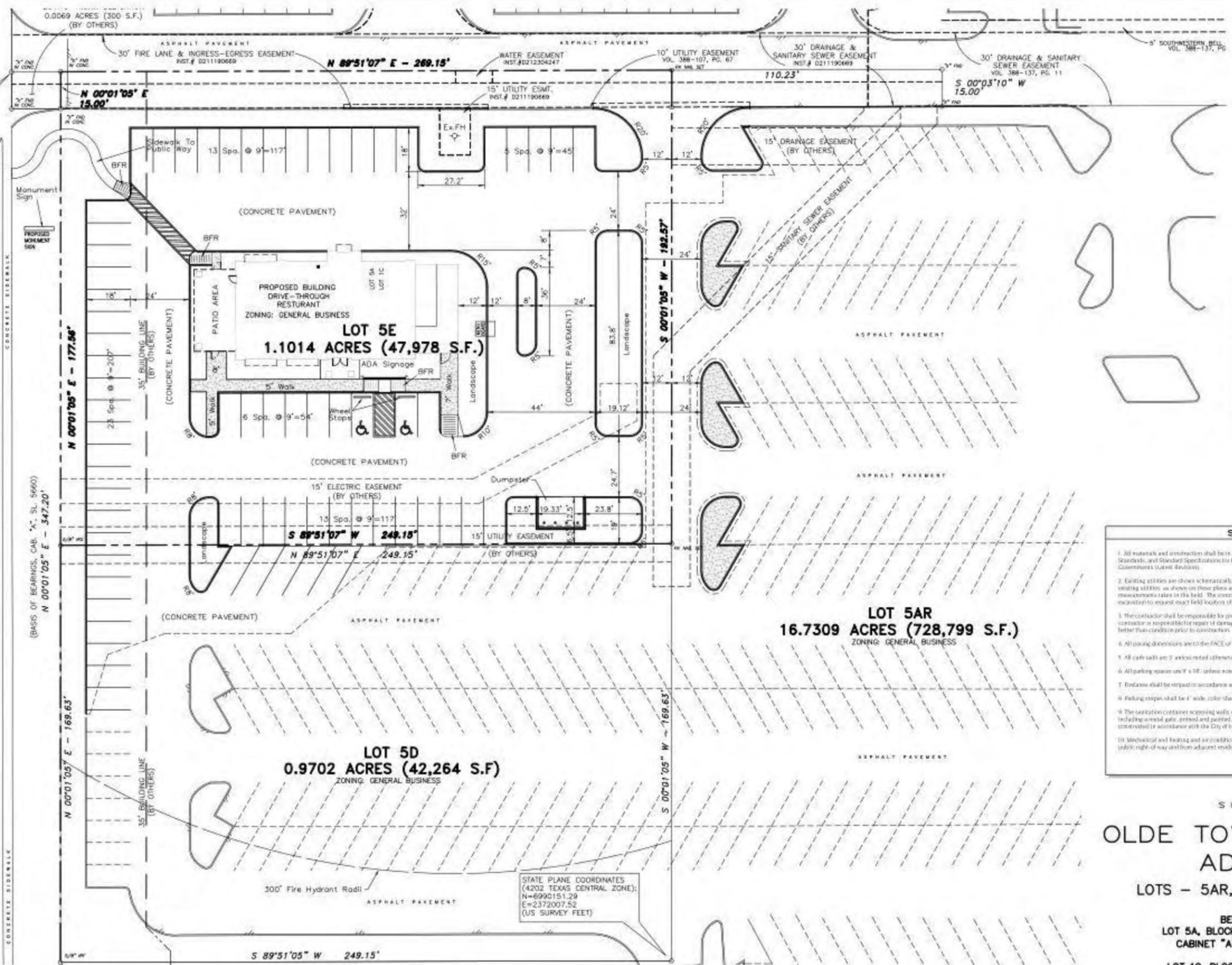
CONLEY RUSSELL L	BLK 1 LOT 2R2B MCGARRY PLAZA	614 REEVES LN KENNE DALE, TX 76060
LODGE REALTY PARTNERS LLP ETAL	BLK 1 LOT 2R2A MCGARRY PLAZA	8851 CAMP BOWIE WEST BLVD FORT WORTH, TX 76116
BARRETT-CARTER LLC	BLK 1 LOT 1B1 ADAMS ACRES	2020 W NORTHWEST HWY GRAPEVINE, TX 76051
BURGESS CHARLES M	BLK 1 LOT 3A1 ADAMS ACRES	1323 CIMARRON TR HURST, TX 76053
LEWIS DAN C	BLK 1A LOT 5A OLDE TOWN SQUARE	1441 CIMARRON TR HURST, TX 76053
DAYTON HUDSON CORP	BLK 1 LOT 2A ADAMS ACRES	1000 NICOLLET AVE MINNEAPOLIS, MN 55403
WILSON KEITH	BLK 1 LOT 2B ADAMS ACRES	1401 CIMARRON TR HURST, TX 76053
SHEPARD JERRY SR	BLK 2 LOT 1B LUCAS ESTATES	1329 CIMARRON TR HURST, TX 76053
FIELDS & CHURCH	BLK 1 LOT 2C ADAMS ACRES	1401 PRECINCT LINE RD HURST, TX 76053
JONES THOMAS JR	BLK 1 LOT 14 OLDE TOWN SQUARE	1325 CIMARRON TR HURST, TX 76053
MCMILLAN R	BLK 1 LOT 13 OLDE TOWN SQUARE	1611 E DOVE RD SOUTHLAKE, TX 76092
HURST RE LTD	BLK 1 LOT 1AIR ADAMS ACRES	900 E LAKEVIEW DR MCALLEN, TX 78501
TRITTIN JOHN H	BLK 1 LOT 1A2R ADAMS ACRES	809 MOUNTAIN TERR HURST, TX 76053
FLORAL SOLUTIONS PROP LLC	BLK 1 LOT 12 OLDE TOWN SQUARE	650 W BEDFRD EULES RD HURST, TX 76053
LODGE REALTY PARTNERS LLP ETAL	BLK 1 LOT 11 OLDE TOWN SQUARE	8851 CAMP BOWIE WEST BLVD FORT WORTH, TX 76116
LODGE REALTY PARTNERS LLP ETAL	BLK 1 LOT 1C OLDE TOWN SQUARE	8851 CAMP BOWIE WEST BLVD FORT WORTH, TX 76116
THE HANGOVER OPPORTUNITY FUND	BLK 1 LOT 1A OLDE TOWN SQUARE	255 N CENTER ST ARLINGTON, TX 76011
HURST BABYLON LLC	BLK 1 LOT 2R KINSAN	5175 E PCH STE 405 LONG BEACH, CA 90804
OCCUPANT	BLK 1a LOT 5B OLDE TOWNE SQUARE	1312 PRECINCT LINE RD HURST, TX 76053
OCCUPANT	BLK 3 LOT 3 LUCAS ESTATES	808 OVERHILL CT HURST, TX 76053
OCCUPANT	BLK 1 LOT 1B2 ADAMS ACRES	1309 CIMARRON TRL HURST, TX 76053
OCCUPANT	BLK 3 LOT 1 LUCAS ESTATES	1304 PRECINCT LINE RD HURST, TX 76053
OCCUPANT	BLK 1 LOT 8 OLDE TOWN SQUARE	689 AIRPORT FWY HURST, TX 76053
OCCUPANT	BLK 1 LOTS 4C ADAMS ACRES	1440 PRECINCT LINE RD HURST, TX 76053

OCCUPANT	BLK 1 LOT 2R2B MCGARRY PLAZA	1443 CIMARRON TRL HURST, TX 76053
OCCUPANT	BLK 1 LOT 2R2A MCGARRY PLAZA	780 W BEDFORD EULESS RD HURST, TX 76053
OCCUPANT	BLK 1 LOT 1B1 ADAMS ACRES	1308 PRECINCT LINE RD HURST, TX 76053
OCCUPANT	BLK 1 LOT 2A ADAMS ACRES	1400 PRECINCT LINE RD HURST, TX 76053
OCCUPANT	BLK 1 LOT 2C ADAMS ACRES	800 WHEELWOOD DR HURST, TX 76053
OCCUPANT	BLK 1 LOT 13 OLDE TOWN SQUARE	770 W BEDFORD EULESS RD HURST, TX 76053
OCCUPANT	BLK 1 LOT 1AIR ADAMS ACRES	700 W BEDFORD EULESS RD HURST, TX 76053
OCCUPANT	BLK 1 LOT 1A2R ADAMS ACRES	1305 CIMARRON TRL HURST, TX 76053
OCCUPANT	BLK 1 LOT 11 OLDE TOWN SQUARE	750 W BEDFORD EULESS RD HURST, TX 76053
OCCUPANT	BLK 1 LOT 1C OLDE TOWN SQUARE	760 W BEDFORD EULESS RD HURST, TX 76053
OCCUPANT	BLK 1 LOT 1A OLDE TOWN SQUARE	1432 PRECINCT LINE RD HURST, TX 76053
OCCUPANT	BLK 1 LOT 2R KINSAN	1460 PRECINCT LINE RD HURST, TX 76053

**EXHIBIT A**

STATE PLANE COORDINATES  
(4202 TEXAS CENTRAL ZONE):  
N=6990151.29  
E=2372007.52  
(US SURVEY FEET)

**PRECINCT LINE ROAD**  
(UNLIKE WITH RIGHT-OF-WAY)



- SITE PLAN NOTES**
- All materials and construction shall be in accordance with the City of Hurst Standard Specifications and Construction Standards, and Standard Specifications for Public Works Construction prepared by North Central Texas Council of Governments (Latest Edition).
  - Existing utilities are shown schematically and are for the contractor's guidance only. The location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies, and where possible, measurements taken in the field. The contractor shall call the appropriate utility company at least 48 hours prior to any excavation to request exact field locations of utilities.
  - The contractor shall be responsible for protecting all existing improvements in the construction of this project. The contractor is responsible for repair of damage to any existing improvements during construction. Repairs shall be equal to or better than conditions prior to construction.
  - All paving dimensions are to the FACE of curb, where applicable, unless noted otherwise.
  - All curb radii are 5' unless noted otherwise.
  - All parking spaces are 11' x 18' unless noted otherwise.
  - Entrances shall be striped in accordance with the City of Hurst Requirements.
  - Parking stripes shall be 4" wide, color shall be in accordance with the City of Hurst Requirements.
  - The sanitation container screening walls will be brick masonry, stone masonry, or other architectural masonry finish, including ornate gate, painted and painted, and the sanitation container screening walls, gate, and pad site will be constructed in accordance with the City of Hurst Design Specifications and Ordinances.
  - Mechanical and heating and air conditioning equipment in non-residential use shall be screened from view from the public right-of-way and from adjacent residential properties.

**SITE PLAN**  
**OLDE TOWNE SQUARE**  
**ADDITION**

**LOTS - 5AR, 5D & 5E, BLOCK 1A**

BEING A PART OF  
**LOT 5A, BLOCK 1A, OLDE TOWNE SQUARE**  
**CABINET "A", SLIDE 5660, P.R.T.C.T.**

AND  
**LOT 1C, BLOCK 1, OLDE TOWNE CENTER**  
**INST. NO. 211190669, P.R.T.C.T.**

**1.1014 ACRES (47,978 S.F.) SITUATED IN THE**

**W.W. WALLACE SURVEY, ABSTRACT NO. 1607**  
**CITY OF HURST, TARRANT COUNTY, TEXAS**

**SYNOPSIS**

Location	1420 Precinct Line Road	Parking Required	
Zoning	General Business (GB)	Drive-Through Eating Establishment (1per 75sf)	47 Spaces (3,491sf)
Proposed Use	Restaurant	HC Parking Required	2 Spaces
Lot Area (Gross)	1,1083 Acres Ac. (48,278 Sq. Ft.)	HC Parking Provided	2 Spaces
Building Area(s)	2,910sf (Bldg) 581sf (Patio)	Total Parking Provided	55 Spaces (On-Site)
Building Height	21'-6"	Total Parking Area	9,405sf
Lot Coverage/FAR	9% Of Site / .09:1		
Impervious Area	38,800 Square Feet (0.89 Acres)		

**Owner**  
PC Chicken 2, LLC  
dba Sillm Chickens  
3879 W Cedar Ridge Lane  
Fayetteville, AR 72704  
Telephone 817 797-7287

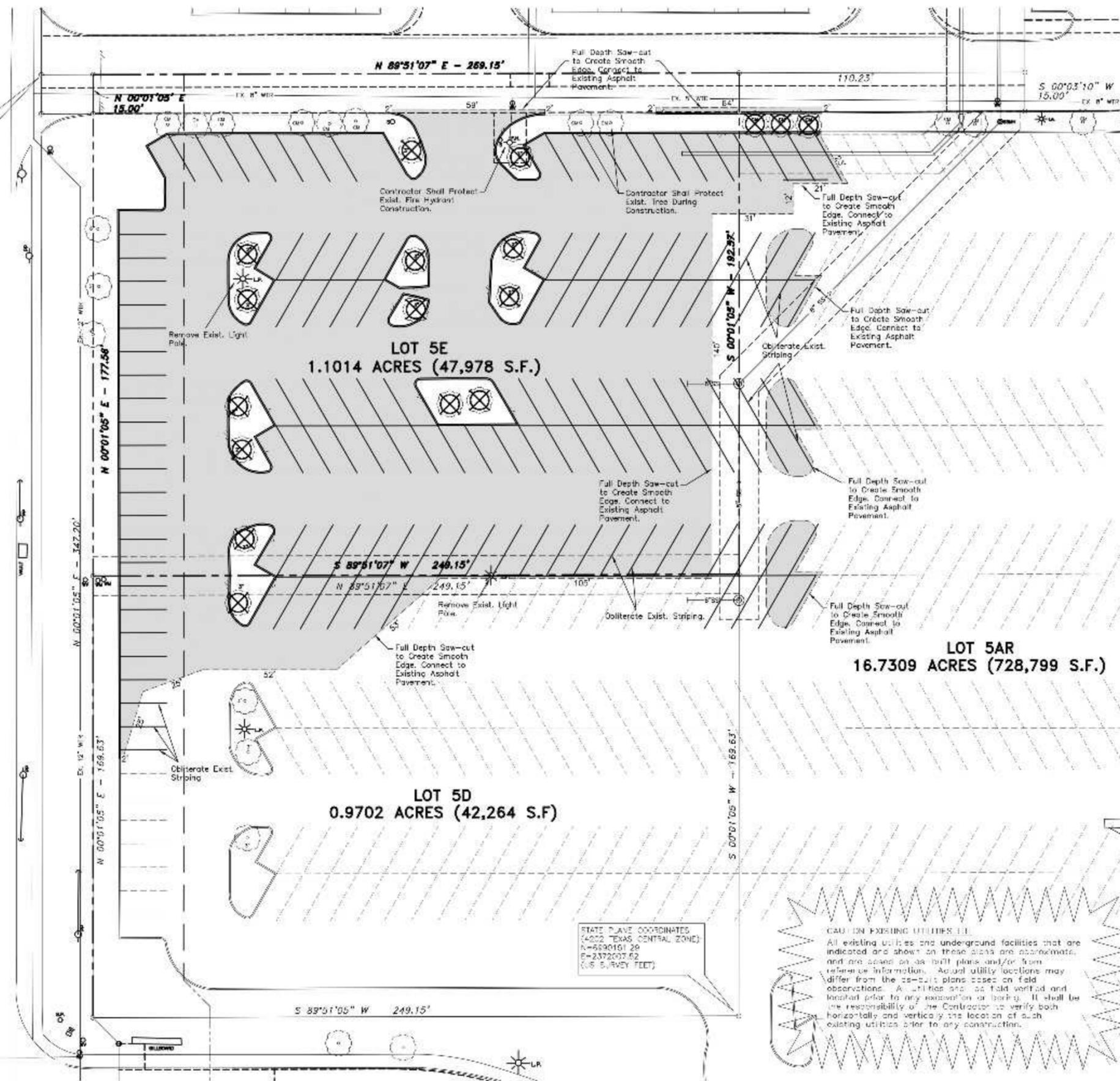
**Engineer**  
RLK Engineering, Inc.  
Texas Registration No. 579  
111 West Main Street  
Allen, Texas 75013  
Telephone 972 359-1733

**Surveyor**  
Blue Sky Surveying  
& Mapping, Corp.  
TBPLS Registration #10105700  
11015 Midway Road  
Dallas, Texas 75229  
Telephone 214 358-4500

PRECINCT LINE ROAD

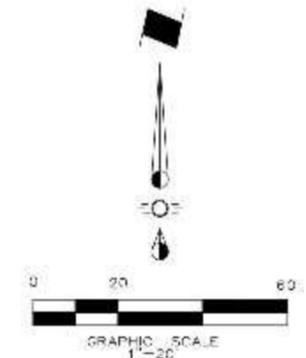
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(US SURVEY FEET)

ASPHALT PAVEMENT



STATE PLANE COORDINATES  
(4202 TEXAS CENTRAL ZONE)  
N=8990151.29  
E=2372007.52  
(US SURVEY FEET)

**CAUTION EXISTING UTILITIES !!!**  
All existing utilities and underground facilities that are indicated and shown on these plans are approximate, and are based on as-built plans and/or from reference information. Actual utility locations may differ from the as-built plans based on field observations. A utility should be field verified and located prior to any excavation or boring. It shall be the responsibility of the Contractor to verify both horizontally and vertically the location of such existing utilities prior to any construction.



**DEMOLITION NOTES**

- Contractor shall abide by all applicable City requirements, ordinances, and City of Hurst standards and specifications.
- Prior to starting construction, the Contractor shall make certain that all required permits and approvals have been obtained. No construction or fabrication shall begin until the Contractor has received and thoroughly reviewed all plans and other documents approved by all of the permitting authorities.
- In the event an item is not covered in the City's specs., the City Engineer's decision shall apply.
- Contractor shall meet O.S.H.A. requirements for trench safety.
- Barriering, traffic control, and project signs shall conform to The Texas Manual On Uniform Traffic Control Devices. (TMUTCD).
- The Contractor shall verify the suitability of all existing and proposed site conditions, including grades and dimensions before commencement of any construction. In the event of any conflict, and prior to commencement of any construction, immediately notify Engineer. Minor adjustments of finish grade to accomplish spot drainage are acceptable if necessary, upon prior approval of Engineer. All paving installed shall "flush out" at any juncture with existing paving.
- The locations of underground utilities shown on this plan are based on field surveys and local utility company records. It shall be the Contractor's full responsibility to contact the various utility companies to locate their utilities prior to starting construction. Any damage to existing utilities is to be repaired at Contractor's expense.
- Contractor shall protect all existing utilities during the demolition process.
- Any damage to adjoining property during construction shall be repaired to pre construction conditions or better at the expense of the Contractor.
- Provide temporary barricades, fences, warning signs, guardrails, warning lights, etc. as necessary.
- Protect existing structures, landscaping materials, and appurtenances which are not being demolished.
- All materials removed shall be disposed of offsite in a legal manner.
- It shall be the Contractor's responsibility to remove excess earthwork material from the site at no additional cost to the owner.
- If additional earthwork material is required to achieve the grades indicated, it shall be imported by the Contractor at no additional cost to the owner.
- Erosion control shall be in place prior to the disturbance of any existing surface.
- Contractor shall refer to the Storm Water Pollution Prevention Plan for erosion and pollution control during the demolition process. The Contractor shall provide any additional erosion or pollution prevention devices as required during the demolition process in order to completely conform to the United States Environmental Protection Agency and all other agencies having jurisdiction. Trees to remain unless noted otherwise. Refer to Utility Plan for utility removal/relocation.
- Install perimeter fencing at the discretion of the contractor and owner where deemed necessary.

**DEMOLITION LEGEND**

-  Pavement to be Removed
-  Tree to be Removed
-  Curb to be Removed
-  Curb to Remain

**BWA**  
BOYNTON-WILLIAMS & ASSOCIATES  
ARCHITECTURE  
PLANNING  
INTERIORS  
4455 L.B.J. FREEWAY  
SUITE 820  
DALLAS, TX 75244  
972-661-5461  
FAX 972-661-5449

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Member American Institute  
of Architects



SLIM CHICKENS - HURST #10702  
1400 PRECINCT LINE ROAD  
HURST, TEXAS  
DEMOLITION PLAN

Revisions  
Issue Date  
**11-10-2015**

Project No.  
**D15056**  
Sheet No.  
**C1.0**



SLIM CHICKENS - HURST #10702

1400 PRECINCT LINE ROAD  
HURST, TEXAS

LANDSCAPE PLAN

Revisions

Issue Date

10-26-2015

Project No.

D15056

Sheet No.

1L1

CITY LANDSCAPE TABULATIONS

SITE LANDSCAPE AREA	
15% OF SITE TO BE LANDSCAPE	
SITE LANDSCAPE AREA REQUIRED (44,240 S.F. X 15% = )	6,636 SF
SITE LANDSCAPE AREA PROVIDED	1,480 SF
SITE LANDSCAPE AREA	
15' WIDE SETBACK, 1 LARGE TREE PER 50 LF INCL. EX. TREES, 10 SMALL SHRUBS PER 50 LF, CAN COUNT PARKING SHRUBS.	
LANDSCAPE SETBACK TREES REQUIRED (178 LF / 50 LF = )	4 TREES
LANDSCAPE SETBACK TREES PROVIDED (1 NEW, 3 EXIST.)	4 TREES
LANDSCAPE SETBACK SHRUBS REQUIRED (178 LF / 50 = 3.6 X 10 = )	36 SHRUBS
LANDSCAPE SETBACK SHRUBS PROVIDED	36 SHRUBS
PARKING LOT SCREENING	
BERM, SHRUBS OR COMBO, 5' O.C., SOLID SCREEN.	
LANDSCAPING OF PARKING LOTS	
1-LARGE TREE PER 20 SPACES, 100' MAX TREE IN INTERIOR ISLAND TO PKG. SPACE, DRIVE APPROACH OFF STREET HAVE ISLAND EA. SIDE, SMALL SHRUBS 5' O.C.	
5% LANDSCAPE AREA	
PARKING TREES REQUIRED (55 SPACES / 20 = )	3 TREES
PARKING TREES PROVIDED	3 TREES
PARKING LANDSCAPE REQUIRED (14,840 SF LOT X 5% = )	742 SF
PARKING LANDSCAPE PROVIDED	1,882 SF
DRIVE APPROACH	
NONE, NO DRIVE APPROACH OFF STREET	
BUFFER YARD	
NOT APPLICABLE, NO ADJ. RESIDENTIAL	
EXISTING TREES (TREE SURVEY PROVIDED BY OTHERS)	
3-6' TREES SAVED, 6-8' TREES REMOVED	-6 (3') TREES
NEW TREES 6-8'	+6 (3') TREES

IRRIGATION

ALL LANDSCAPE AREAS WILL RECEIVE FULL UNDERGROUND IRRIGATION WITH RAIN AND FREEZE PROTECTION.

LARGE TREES

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
2		RED OAK	Shumard Red Oak	Quercus shumardii	3" caliper, 10'-12' Ht./ 4'-5' spread, B4B straight trunk full rounded canopy
4		PISTACHIO	Chinese Pistachio	Pistacia chinensis	3" caliper, 10'-12' Ht./ 4'-5' spread, B4B straight trunk full rounded canopy
4		D. WILLOW	Desert Willow	Chilopsis linearis	4'-5' ht, 3'-4' spread, container
5		C. MYRTLE	Red Flowering Grape Myrtle	Lagerstroemia indica California Beauty	1" caliper per trunk, 5 trunk minimum, 8' Ht./5' spread, B4B

SHRUBS

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
88		D.Y. HOLLY	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	3 gallon, 16" Ht./14" spread, bushy, full to ground
80		D.B. HOLLY	Dwarf Burford Holly	Ilex cornuta 'Nana'	3 gallon, 16" Ht./14" spread, bushy, full to ground
0		KNOCKOUT	Double Knockout Rose	Rosa "double knockout"	3 gallon, 18"-20" Ht./15" spread, full, bushy to ground
42		RED YUCCA	Red Yucca	Hesperaloe parviflora	1 gallon
10		COREOPSIS	Lanceleaf Coreopsis	Coreopsis lanceolata	1 gallon
11		BLUE SAGE	Mealy Blue Sage	Salvia Farinacea	1 gallon
88		STIPA	Mexican Feathergrass	Stipa tenuissima	1 gallon
12		B. DAISY	Blackfoot Daisy	Melampodium leucanthum	1 gallon

GROUNDCOVER / VINES

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN		SOD	Zoyzia Grass	Zoyzia japonica	Sod refer to specifications

MISCELLANEOUS

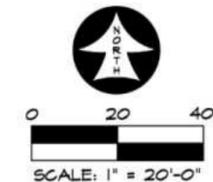
AS SHOWN		EDGE	L.F. Ryerson steel edge, 1/8" x 4" with 12" stakes, green in color. Use to separate beds from grass and rock from beds.		
AS SHOWN		R. ROCK	3"-4" size river rock, 5" deep at downspouts as shown. Color to be rainbow multi-color.		

LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES

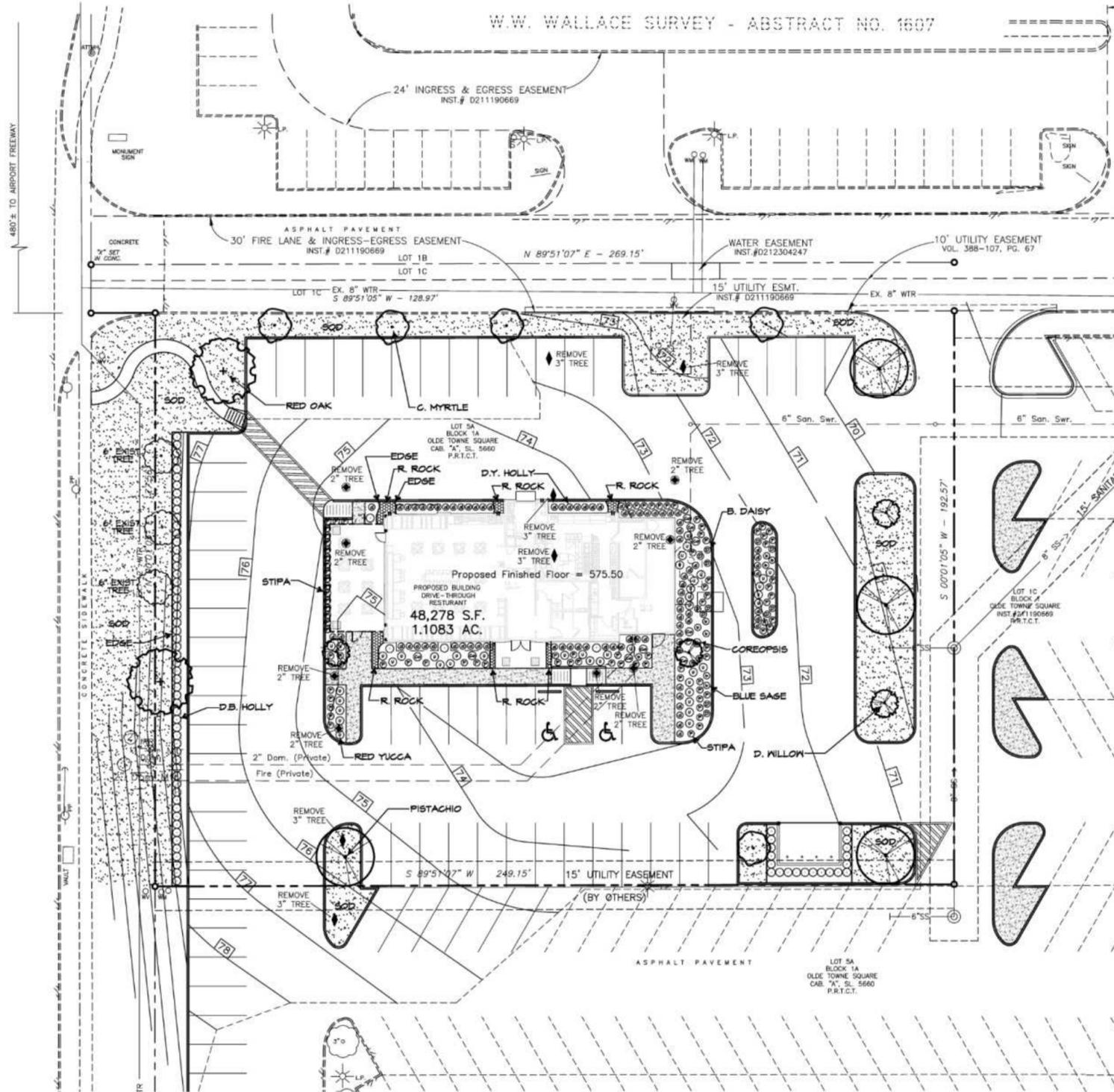
RAMSEY LANDSCAPE ARCHITECTS, LLC

11914 WISHING WELL CT.  
FRISCO, TEXAS 75035  
PHONE (972) 335-0889  
FAX (469) 382-5433  
EMAIL: MIKE.RLA@ATT.NET

Owner:  
PC Chicken 2, LLC  
dba Slim Chickens  
3879 W Cador Ridge Lane  
Fayetteville, AR 72704  
Telephone 817 797-7287



LANDSCAPE PLAN  
OLDE TOWNE SQUARE  
ADDITION  
Being Part of  
LOT 1C, BLOCK 1A  
LOT 5A, BLOCK 1A  
1.1083 Acres Situated in The  
W.W. WALLACE SURVEY - ABST. 1807  
HURST, TARRANT COUNTY, TEXAS



EXISTING IRRIGATION NOTE:  
PRIOR TO DISTURBANCE, THE EXISTING IRRIGATION IN THE AREA TO BE DEVELOPED SHALL BE DISCONNECTED FROM THE TARGET STORE IRRIGATION. THE EXISTING IRRIGATION IN NON CONSTRUCTION AREAS SHALL NOT BE SHUT OFF FOR MORE THAN 3 DAYS. RE-ROUTING OF MAINLINE, WIRES, VALVES, AND LATERALS SHALL BE COMPLETED PRIOR TO DISTURBANCE. CONTRATOR TO COORDINATE WITH TARGET STORE TEAM PRIOR TO AND AFTER DISCONNECTION TO ENSURE THAT THE EXISTING IRRIGATION SYSTEM IS IN WORKING ORDER AND ACCEPTABLE TO STORE TEAM.



PRECINCT LINE ROAD  
ASPHALT PAVEMENT

(VARIABLE WIDTH RIGHT-OF-WAY)

CONCRETE SIDEWALK

480'± TO AIRPORT FREEWAY



# WEST ELEVATION



A Professional Corporation  
Member American Institute  
of Architects  
5010 L.B.J. FREEWAY  
SUITE 110  
DALLAS, TX 75224  
972-881-5481  
FAX 972-661-5449

**Slim Chickens - Hurst #10702**

1420 Precinct Line Road  
Hurst, TX

Original Issue Date	10-26-2015
Revision Date	
Project No.	D15056

Drawing No.	<b>R-3</b>
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# NORTH ELEVATION



A Professional Corporation  
Member American Institute  
of Architects  
5010 L.B.J. FREEWAY  
SUITE 110  
DALLAS, TX 75224  
972-881-5481  
FAX 972-661-5449

**Slim Chickens - Hurst #10702**

1420 Precinct Line Road  
Hurst, TX

Original Issue Date	10-26-2015
Revision Date	
Project No.	D15056

Drawing No.	<b>R-1</b>
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# SOUTH ELEVATION



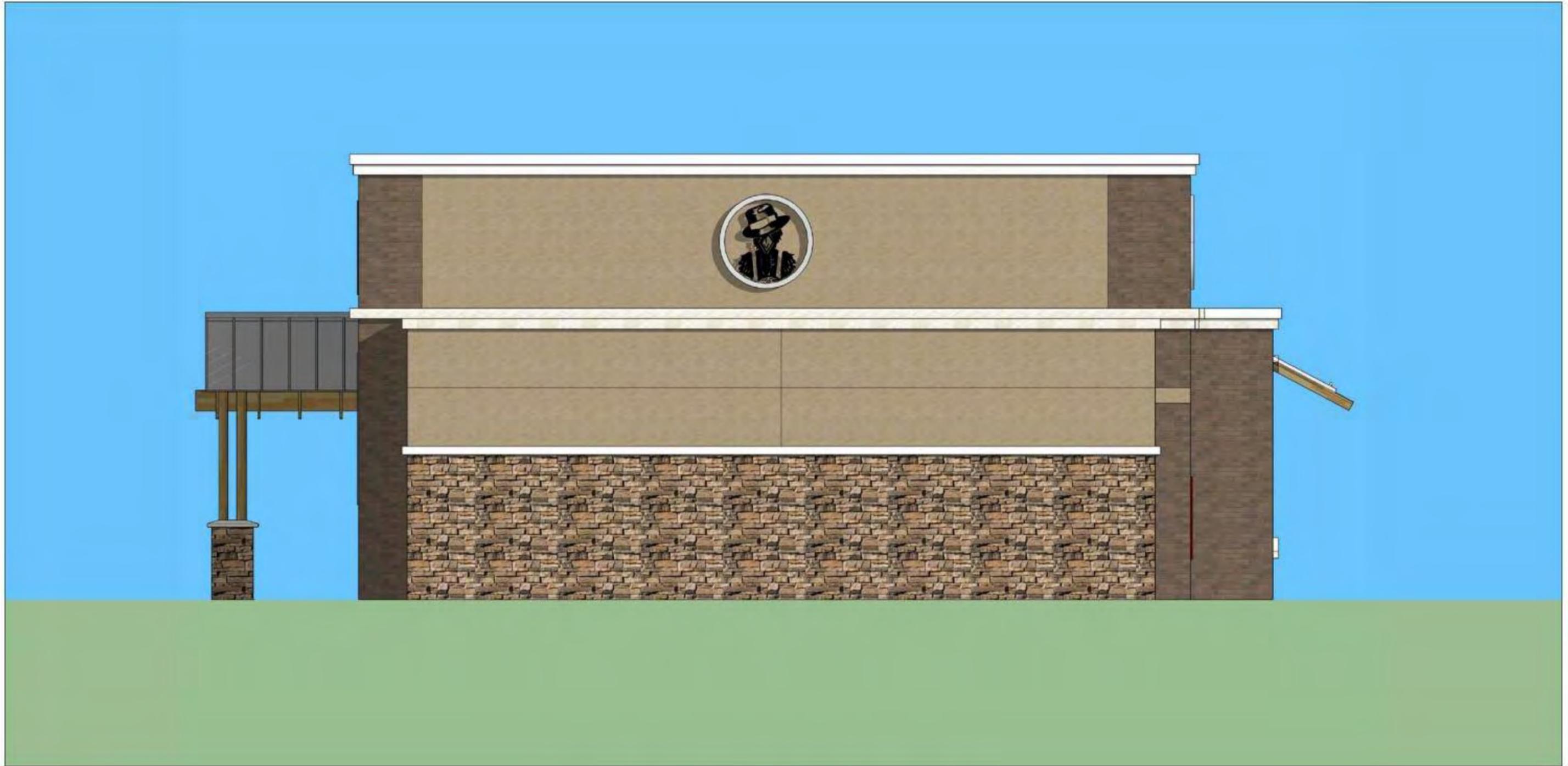
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of Architects  
5010 L.B.J. FREEWAY  
SUITE 110  
DALLAS, TX 75224  
972-881-5481  
FAX 972-661-5449

**Slim Chickens - Hurst #10702**

1420 Precinct Line Road  
Hurst, TX

Original Issue Date	10-26-2015
Revision Date	
Project No.	D15056

Drawing No.	<b>R-2</b>
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# EAST ELEVATION



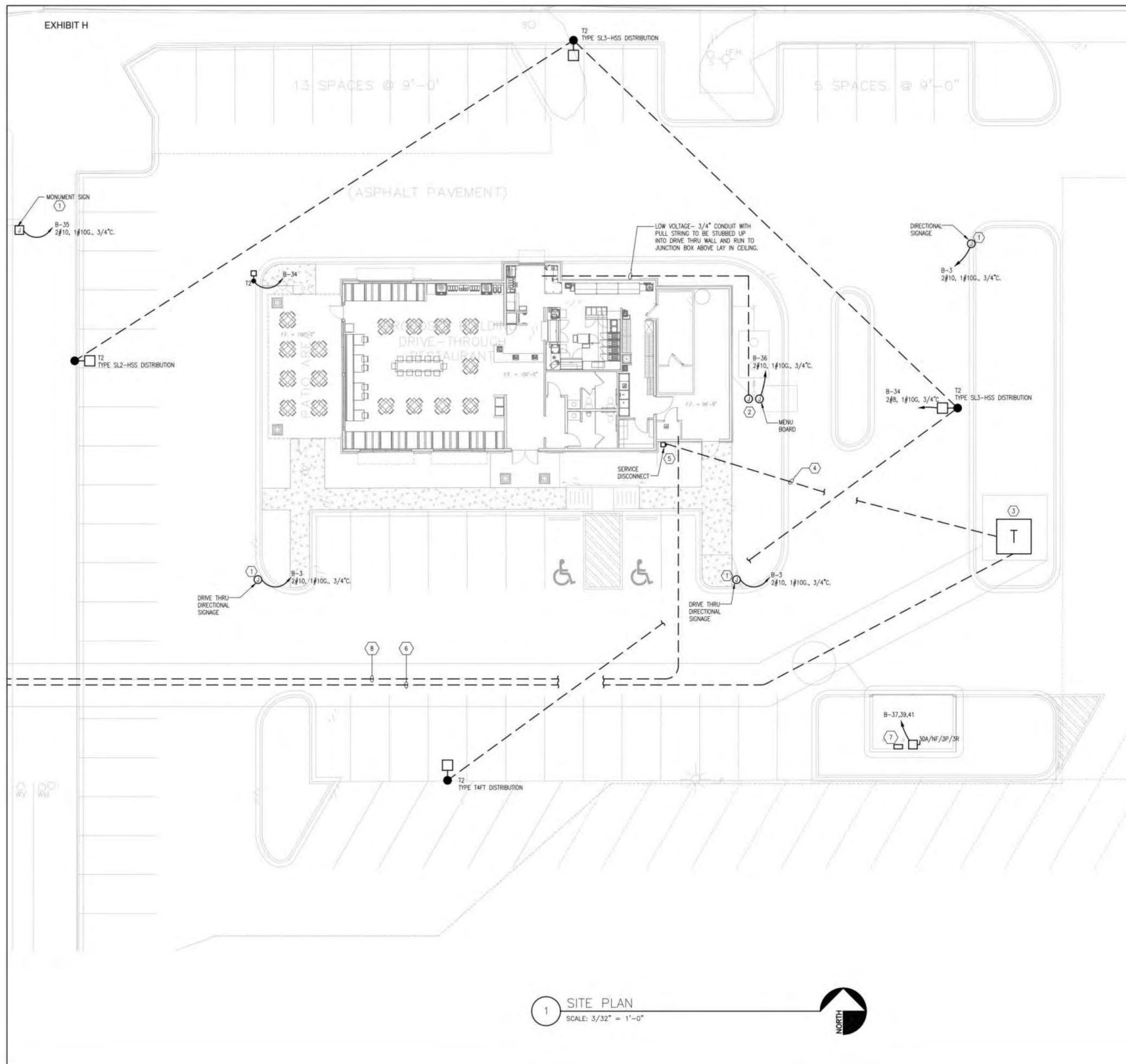
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972-881-5481  
FAX 972-661-5449

**Slim Chickens - Hurst #10702**

1420 Precinct Line Road  
Hurst, TX

Original Issue Date	10-26-2015
Revision Date	
Project No.	D15056

Drawing No.	<b>R-4</b>
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**ELECTRICAL GENERAL NOTES:**

- COORDINATE WITH POWER COMPANY FOR SPECIFIC REQUIREMENTS AND DETAILS ASSOCIATED WITH ELECTRICAL SERVICE ENTRANCE WORK. ALL WORK SHALL COMPLY WITH LOCAL POWER COMPANY ELECTRICAL SERVICE GUIDELINES AND STANDARDS.
- ELECTRICAL CONTRACTOR SHALL PROVIDE ALL CONDUIT, POWER WIRING, GROUNDING AND OTHER NECESSARY CONNECTIONS FOR OWNER SIGNS, PARKING LOT LIGHTS, IRRIGATION SYSTEM AND OTHER SYSTEMS REQUIRED IN ORDER TO ENSURE COMPLETE AND OPERABLE SYSTEMS FOR THIS PROJECT.
- ELECTRICAL CONTRACTOR SHALL COORDINATE ALL INSTALLATIONS WITH CIVIL ENGINEER AND WITH SITE CONTRACTOR. REVIEW ALL ASSOCIATED DRAWINGS RELATED TO THIS SITE PRIOR TO COMMENCING WORK.
- UNDERGROUND CONDUIT INSTALLATIONS SHALL COMPLY WITH NEC ARTICLE 300.5
- POLE LIGHT ASSEMBLIES - PROVIDE POLES AND LIGHT FIXTURES AS SPECIFIED UNLESS OTHERWISE INDICATED. VERIFY WITH PROPERTY DEVELOPER AND APPLICABLE CODES. ALL REQUIREMENTS REGARDING SITE AND BUILDING LIGHTING, WHERE DEVELOPERS REQUIRE SPECIFIC POLE LIGHT ASSEMBLIES, PROVIDE ASSEMBLIES IN ACCORDANCE TO SUCH REQUIREMENTS. ALL SITE LIGHTING SHOULD BE SITE ADAPTED TO THE STANDARDS OF ADOPTED LOCAL CODES (ENERGY CODES, LIGHTING ORDINANCES, ETC.)
- OBTAIN SITE SURVEY OF PROPERTY WHERE ANY AND ALL EXCAVATION MAY BE REQUIRED AND IDENTIFY ALL UNDERGROUND ENTITIES (PIPING, DUCT BANKS, DIRECT BURIED CABLE, AND OTHER SYSTEMS THAT MAY BE LOCATED UNDERGROUND) WITHIN THE AREA OF THIS BUILDING SITE.
- COORDINATE ALL EXCAVATION WITH APPROPRIATE OWNER'S REPRESENTATIVES AND UTILITY OFFICIALS PRIOR TO BEGINNING CONSTRUCTION. UTILITY OFFICIALS SHALL BE DEFINED AS THE COMPANIES PROVIDING ELECTRICAL SERVICE, TELEPHONE AND COMMUNICATIONS SERVICE, CABLE TV SERVICE AND OTHER COMPANIES THAT MAY HAVE SERVICES WITHIN THIS SITE. CONFIRM ALL EXISTING UTILITY SERVICE COMPANIES WITH OWNER PRIOR TO BEGINNING CONSTRUCTION.
- WHERE EXCAVATION IS NECESSARY IN AREAS WHERE KNOWN UNDERGROUND ENTITIES ARE PRESENT (REGARDLESS OF INDICATED DEPTHS), THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT THE DISRUPTION OF EXISTING UNDERGROUND ENTITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR RE-INSTALLATION OF ENTITIES OR SYSTEMS, WHICH ARE DAMAGED DURING EXCAVATION.
- COORDINATE THE INSTALLATION OF NEW UNDERGROUND CONDUITS WITH OTHER TRADES TO MINIMIZE EXCAVATIONS AND TO PREVENT CONFLICT OR INTERRUPTION OF SERVICES DURING EXCAVATION.
- UNDERGROUND ELECTRICAL SERVICE CONDUITS SHALL BE INSTALLED AT 30" BELOW FINISHED GRADE. PROVIDE A MINIMUM OF SIX INCHES OF CONCRETE COVER WITH RED DYE FINISH AT TOP OF CONCRETE SURFACE. ALLOW TO PROPERLY CURE PRIOR TO BACKFILL.
- POWER AND LIGHTING CONDUITS SHALL BE BURIED AT 24" BELOW GRADE. WHERE CONDUITS ARE INDICATED TO PASS BENEATH EXISTING CONCRETE SURFACES, PROVIDE PROTECTION FOR EXISTING SURFACE PRIOR TO BORING BENEATH THE INDICATED SURFACE. CONDUITS MAY BE BURIED TO 12" BELOW BOTTOM OF EXISTING CONCRETE SURFACE WHEN BORING IS REQUIRED.
- ALL EMPTY CONDUIT SYSTEMS SHALL BE PROVIDED WITH FULL CORDS SUITABLE FOR INTENDED INSTALLATION.

**SITE PLAN KEY NOTES:**

- EXTERIOR SIGNAGE J-BOX. COORDINATE FINAL LOCATION WITH SIGNAGE CONTRACTOR AND CONSTRUCTION MANAGER. RUN EXTERIOR BUILDING SIGNS THROUGH TIMECLOCK DRIVEN CONTRACTOR. PROVIDE NEMA 3R LOCAL MAINTENANCE DISCONNECT.
- MENU BOARD POWER. CONTRACTOR SHALL COORDINATE LOCATION AND LOW VOLTAGE REQUIREMENTS WITH THE CONSTRUCTION MANAGER.
- NEW UTILITY TRANSFORMER BY POWER COMPANY. COORDINATE THE CONTRACTOR REQUIREMENTS FOR ELECTRIC SERVICE PROVISIONS WITH UTILITY COMPANY PRIOR TO SITE EXCAVATION. PROVIDE ALL NECESSARY CONCRETE WORK, PAD INSTALLATION, HARDWARE, COMPONENTS, TRENCHING, BACKFILL, CONDUIT, CONDUCTOR FROM UTILITY TO SERVICE ENTRANCE AS REQUIRED BY UTILITY COMPANY. ALL SERVICE ENTRANCE NECESSITIES SHALL BE PROVIDED BY CONTRACTOR PER LOCAL POWER COMPANY STANDARDS.
- ELECTRICAL UNDERGROUND SECONDARY SERVICE (120/208V, 3PH, 4W) TO BUILDING. COORDINATE ELECTRICAL SERVICE CONTRACTOR REQUIREMENTS WITH UTILITY COMPANY PRIOR TO SITE EXCAVATION.
- PROVIDE ELECTRICAL UTILITY SERVICE FUSED DISCONNECT SWITCH AND METERING ROUGH-IN PER LOCAL POWER UTILITY COMPANY REQUIREMENTS. PROVIDE CTs, CT ENCLOSURE, WIRING, ETC. AS NECESSARY TO SATISFY ALL APPLICABLE REQUIREMENTS. REFER TO RISER DIAGRAM.
- PROVIDE (2) 4" UNDERGROUND CONDUITS WITH PULLSTRING FROM NEW PAD-MOUNTED TRANSFORMER TO EXISTING ONCOR UTILITY POLE. CONDUITS SHALL RUN IN JOINT-TRENCH WITH GAS AND ELECTRICAL; REFER TO ONCOR STANDARDS FOR REQUIRED VERTICAL AND HORIZONTAL SEPARATIONS BETWEEN UTILITIES. TRENCH SHALL COMPLY WITH ONCOR STANDARDS.
- BOX FOR ELECTRICAL/DRAULIC EQUIPMENT FOR TRASH COMPACTOR, BY OWNER.
- PROVIDE (2) 4" UNDERGROUND CONDUITS WITH PULLSTRING FROM EXISTING UTILITY POLE TO TELEPHONE SERVICE ENTRY POINT. CONDUITS SHALL RUN IN JOINT-TRENCH WITH GAS AND ELECTRICAL; REFER TO ONCOR STANDARDS FOR REQUIRED VERTICAL AND HORIZONTAL SEPARATIONS BETWEEN UTILITIES.

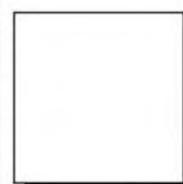
1 SITE PLAN  
SCALE: 3/32" = 1'-0"



ARCHITECTURE  
PLANNING  
INTERIORS

4455 L.B.J. FREEWAY  
SUITE 820  
DALLAS, TX 75244  
972-661-5461  
FAX 972-661-5449

A Professional Corporation  
Member: American Institute  
of Architects



SLIM CHICKENS - HURST #10702  
1400 PRECINCT LINE ROAD  
HURST, TEXAS  
SITE PLAN - ELECTRICAL

Revisions  
Issue Date  
11-09-2015

Project No.  
D15056

Sheet No.  
2E1

**JSE** Jordan & Skala Engineers  
17055 South Dallas Parkway, Suite 130  
Dallas, TX 75252  
Project Number - 153-0736 Texas Firm Registration # F-2999  
Drawn By: BG Checked By: DM

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EXHIBIT I



**SIDE (RIGHT) SOUTH ELEVATION**

SCALE: NTS



**SIDE (LEFT) NORTH ELEVATION**

SCALE: NTS

**TURNER**  
SIGN SYSTEMS

2830 N. Beach Street, Bldg #2  
Haltom City, Texas 76111  
P: 817.222.0033 / F: 817.222.1329  
TurnerSignSystems.com



HURST, TEXAS

DRAWING #: TSSJ189R2  
DATE: 11-02-15

REV: R1: 11.12.15 REV:  
REV: R2: 12.17.15 REV:  
REV: REV:  
REV: REV:  
REV: REV:

**CUSTOMER APPROVAL**

Print Name \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

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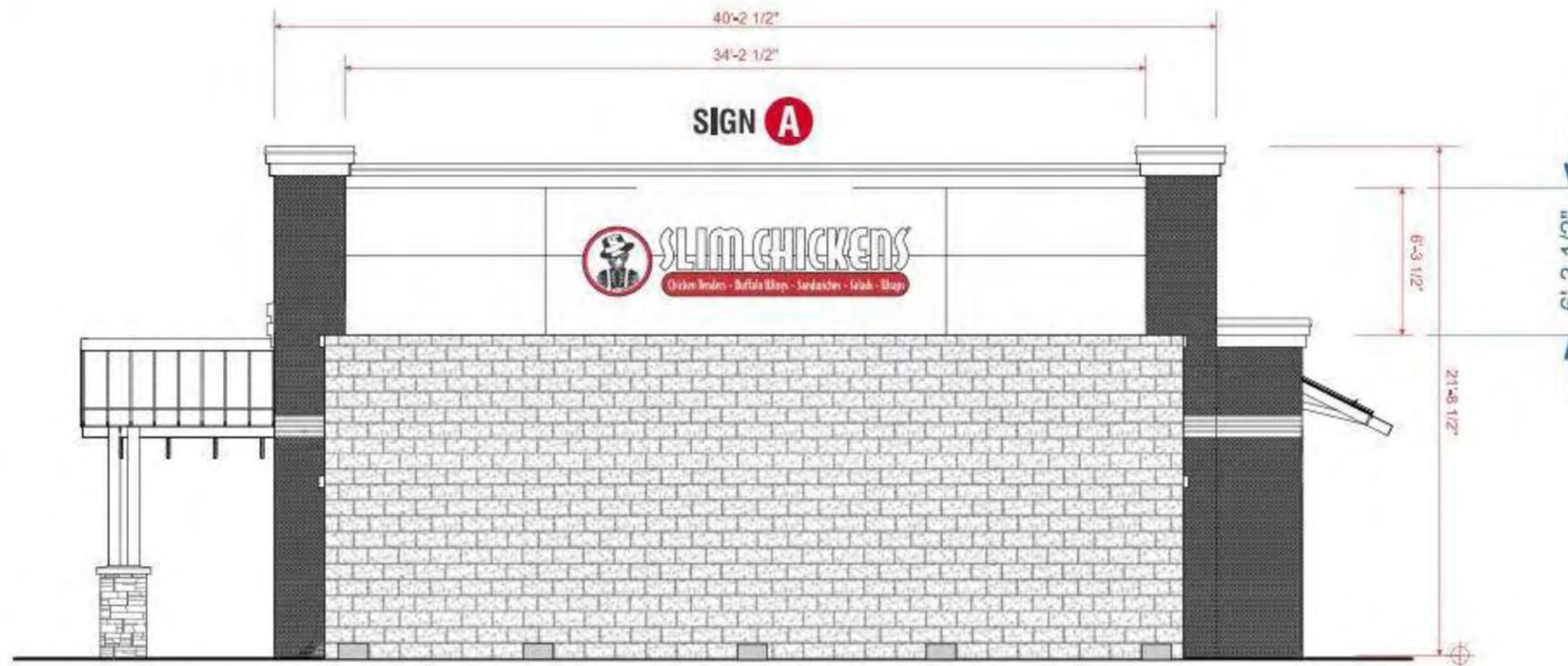
Dedicated branch circuit to sign responsibility of others.

Sales: Mark Symcox  
mark@turnersignsystems.com  
Design:



**FRONT - WEST ELEVATION**

SCALE: NTS



**REAR - EAST ELEVATION**

SCALE: NTS

**TURNER**  
SIGN SYSTEMS

2830 N. Beach Street, Bldg #2  
Haltom City, Texas 76111  
P: 817.222.0033 / F: 817.222.1329  
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HURST, TEXAS

**DRAWING #: TSSJ189R2**  
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REV: REV:  
REV: REV:  
REV: REV:

**CUSTOMER APPROVAL**

Print Name \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

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Dedicated branch circuit to sign responsibility of others.

Sales: Mark Symcox  
mark@turnersignsystems.com  
Design:



## D/F INTERNALLY ILLUMINATED MONUMENT SIGN ELEVATION

SCALE: 1/2" = 1'-0"

(1) ONE REQUIRED

SQUARE FOOTAGE: 50.0 SF

### SPECIFICATIONS

1. 18" DEEP ALUMINUM SKIN & FRAME CABINET RETURNS & FLAT FACES PAINTED MATTHEWS BLACK SEMI-GLOSS.
2. FLAT .125 ALUMINUM FACES ARE ROUTED-OUT & BACKED UP WITH 3/4" THICK WHITE PUSH THRU ACRYLIC.
3. CHICKEN LOGO TO HAVE FIRST SURFACE BLACK VINYL OVERLAYS.
4. TAGLINE TO HAVE FIRST SURFACE AVERY A9340-T RED VINYL OVERLAY REVERSE CUT TO SHOW COPY THRU WHITE.
5. MAIN CABINET IS INTERNALLY ILLUMINATED WITH OSRAM DOUBLE FACED BOX LED MODULES DS 6500K WHITE ON MOUNTING TRACKS & OSRAM OT96W/24/INV POWER SUPPLIES.
6. 3" INSET REVEAL PAINTED MATTHEWS MP-7463 RED (PANTONE 186 RED).
7. REVEAL TO HAVE US RED LED ACCENT STRIPE SECTIONS TO BOTH SIDES.
8. .063 ALUMINUM SILL TO BE PAINTED MATTHEWS MP-7463 RED (PANTONE 186 RED).
9. 6" BRICK BASE TO MATCH BUILDING STONE/BRICK WORK

PMS 186 RED  
VINYL: AVERY A9340-T  
PAINT: MATTHEWS MP7463

# TURNER



# SIGN SYSTEMS

2830 N. Beach Street, Bldg #2  
Haltom City, Texas 76111  
P: 817.222.0033 / F: 817.222.1329  
TurnerSignSystems.com



HURST, TEXAS

**DRAWING #:** TSSJ189R2  
**DATE:** 11-02-15

REV: R1: 11.12.15 REV:  
REV: R2: 12.17.15 REV:  
REV: REV:  
REV: REV:  
REV: REV:  
REV: REV:

### CUSTOMER APPROVAL

Print Name \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

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Dedicated branch circuit to sign responsibility of others.

Sales: Mark Symcox  
mark@turnersignsystems.com  
Design:

ORDINANCE 2311

AN ORDINANCE ADOPTING A SITE PLAN APPROVAL FOR LOT 5E BLOCK 1A OLDE TOWN SQUARE, BEING 1.10 ACRES LOCATED AT 1420 PRECINCT LINE ROAD, SP-15-15

WHEREAS, notice of a hearing before the Planning and Zoning Commission was sent to real property owners within 200 feet of the property herein described at least 10 days before such hearing; and,

WHEREAS, notice of a public hearing before the City Council was published in a newspaper of general circulation in Hurst at least 15 days before such hearing; and,

WHEREAS, notices were posted on the subject land as provided by the Zoning Ordinance; and,

WHEREAS, public hearings to change the site plan on the property herein described were held before both the Planning and Zoning Commission and the City Council, and the Planning and Zoning Commission has heretofore made a recommendation concerning the site plan change; and,

WHEREAS, the City Council is of the opinion that the site plan change herein effectuated furthers the purpose of zoning as set forth in the Comprehensive Zoning Ordinance and is in the best interest of the citizens of the City of Hurst.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HURST, TEXAS:

Section 1. THAT the Comprehensive Zoning Ordinance of the City of Hurst is hereby amended by adopting a site plan approval with Exhibits "A-K" for Lot 5E, Block 1A, Olde Town Square, being 1.10 acres located at 1420 Precinct Line Road.

AND IT IS SO ORDERED.

Passed on the first reading on the 12th day of January 2016 by a vote of \_ to \_ .

Approved on the second reading on the 26<sup>th</sup> day of January 2016 by a vote of \_ to \_.

ATTEST:

CITY OF HURST

\_\_\_\_\_  
Rita Frick, City Secretary

\_\_\_\_\_  
Richard Ward, Mayor

Approved as to form and legality:

\_\_\_\_\_  
City Attorney

City Council Staff Report

SUBJECT: SP-15-18 El Pollo Loco, a site plan approval on Lot D1, Block 1, K-Mart Plaza Addition, being .62 acre located at 1245 Pipeline Road

Supporting Documents:

Area map  
 Legal notice  
 Ownership data  
 Site plan - Exhibit A  
 Landscape plan - Exhibit B  
 Building elevations – Exhibit C and D  
 Sign elevations – Exhibit E-G  
 Lighting Plan – Exhibit H

Meeting Date: 1/12/2016  
 Department: Development  
 Reviewed by: Steve Bowden  
 City Manager Review:

Background/Analysis:

An application has been made by Matt Moore, with Clay-Moore Engineering, for a site plan approval on Lot D1, Block 1, K-Mart Plaza Addition, being .62 acre located at 1245 W. Pipeline Road.

The applicant is requesting the site plan to demolish the existing Chevron station and construct a new El Pollo Loco restaurant with 3,000 square feet, and a drive-thru. The property is zoned GB-PD (General Business Planned Development).

El Pollo Loco is expanding their presence in north Texas with restaurants planned in Grand Prairie, Bedford, Arlington, and Allen.

The site plan indicates that the front doors will face west, with a drive-thru entrance on the south and a pick-up window on the east side of the building. There are no changes to the existing driveways. The developer is planning to replace the retaining wall and locate it closer to the Toys-R-Us parking lot.

The building elevation indicates a gray and eggshell stucco exterior with patchwork tiles over the doors and windows as accents. The building will also have metal awnings above the storefront and drive-thru.

They will be installing five (5) light poles that are 30 feet tall. These light structures will be hooded, but will have minimum impact on the adjacent commercial properties.

The applicant is requesting two (2) building signs with 51.1 sq. ft. total on the north and west elevation, and a building sign with 30.1 sq. ft. on the south and east elevation. The applicant is also requesting a monument sign that is 10 ft. in height with 31 sq. ft. of sign area per face. The sign will be located on the northwest corner of the lot.

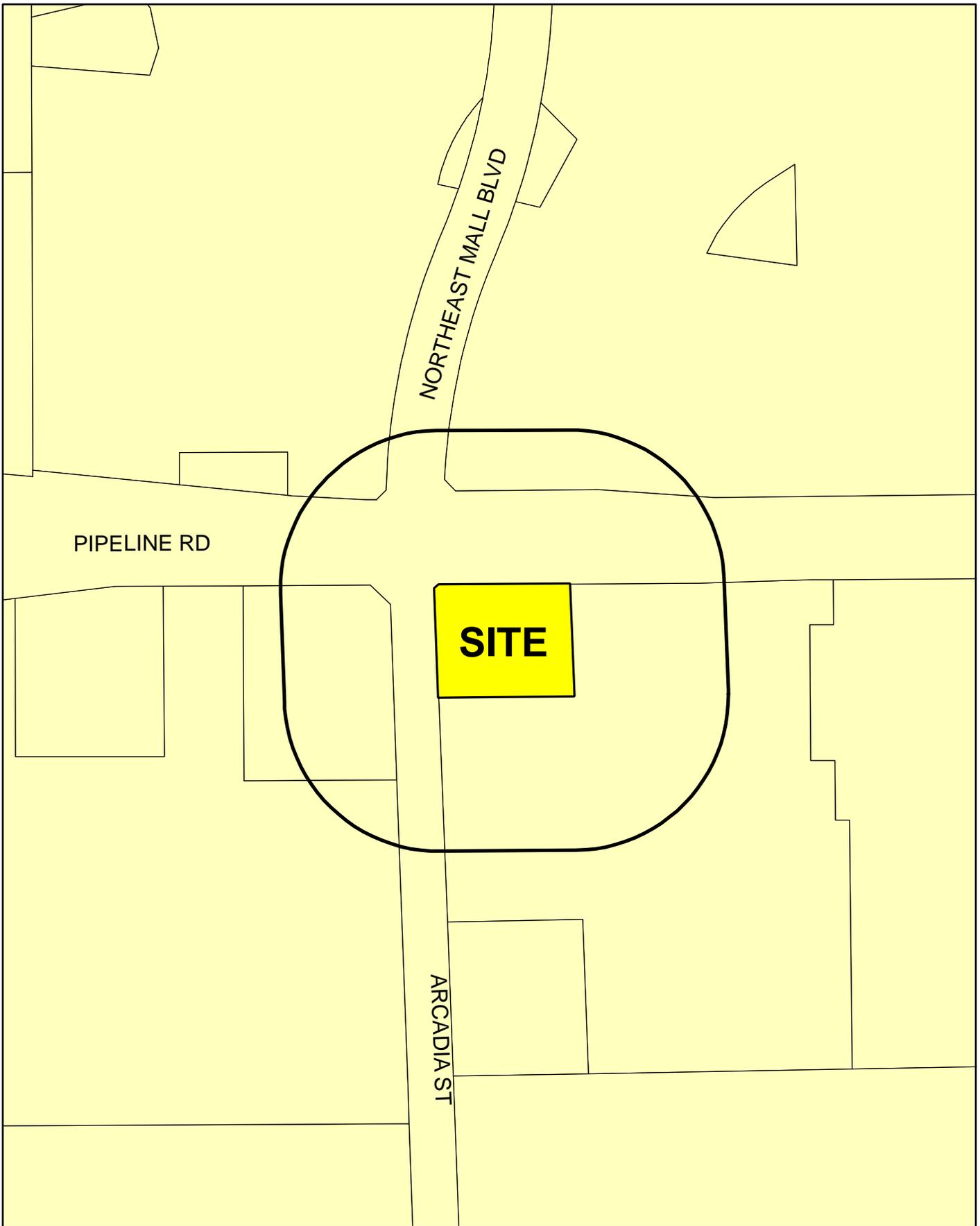
The applicant is proposing good landscaping with four (4) Cedar Elms, one (1) Shumard Oak, one (1) Live Oak, and two (2) Chinquapin Oaks. They will also add Dwarf Yaupon, Dwarf Burford, Knockout Roses, Red Yucca, Texas Sage, Mexican Feather grass, decomposed granite, and Bermuda sod.

**Funding and Sources:**

There is no fiscal impact.

**Recommendation:**

The Planning and Zoning Commission met on Monday, January 4, 2016, and voted 7-0 to recommend approval of SP-15-18 El Pollo Loco.



<p>CASE NO: SP-15-18 El Pollo Loco</p>	<p>LEGAL DESCRIPTION: Lot D1, Block 1 K-Mart Plaza Addition</p>	<p>AGENDA DATE: 01/04/2016</p>
<p>REQUESTED ACTION: Site Plan</p>	<p>LOCATION: 1245 Pipeline Rd.</p>	



SP-15-18

**LEGAL NOTICE**

**A PUBLIC HEARING WILL BE HELD BY THE HURST CITY COUNCIL ON TUESDAY, JANUARY 12, 2016 AT 6:30 P.M. AT HURST CITY HALL, 1505 PRECINCT LINE ROAD TO CONSIDER A SITE PLAN ON LOT D1, BLOCK 1 K-MART PLAZA ADDITION, BEING .58 ACRE LOCATED AT 1245 W. PIPELINE ROAD**

**El Pollo Loco**

Lot D1 Block 1 K-Mart Plaza Addition  
1245 W. Pipeline Rd



SP-15-18

**APPLICATION FOR SITE PLAN  
OWNERSHIP DATA**

**TO THE PLANNING and ZONING COMMISSION:**

**The following described real property is under application for approval of a site plan.**

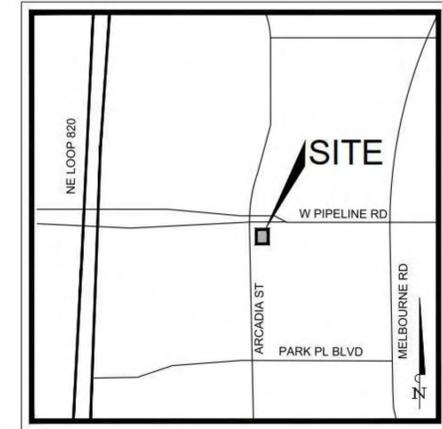
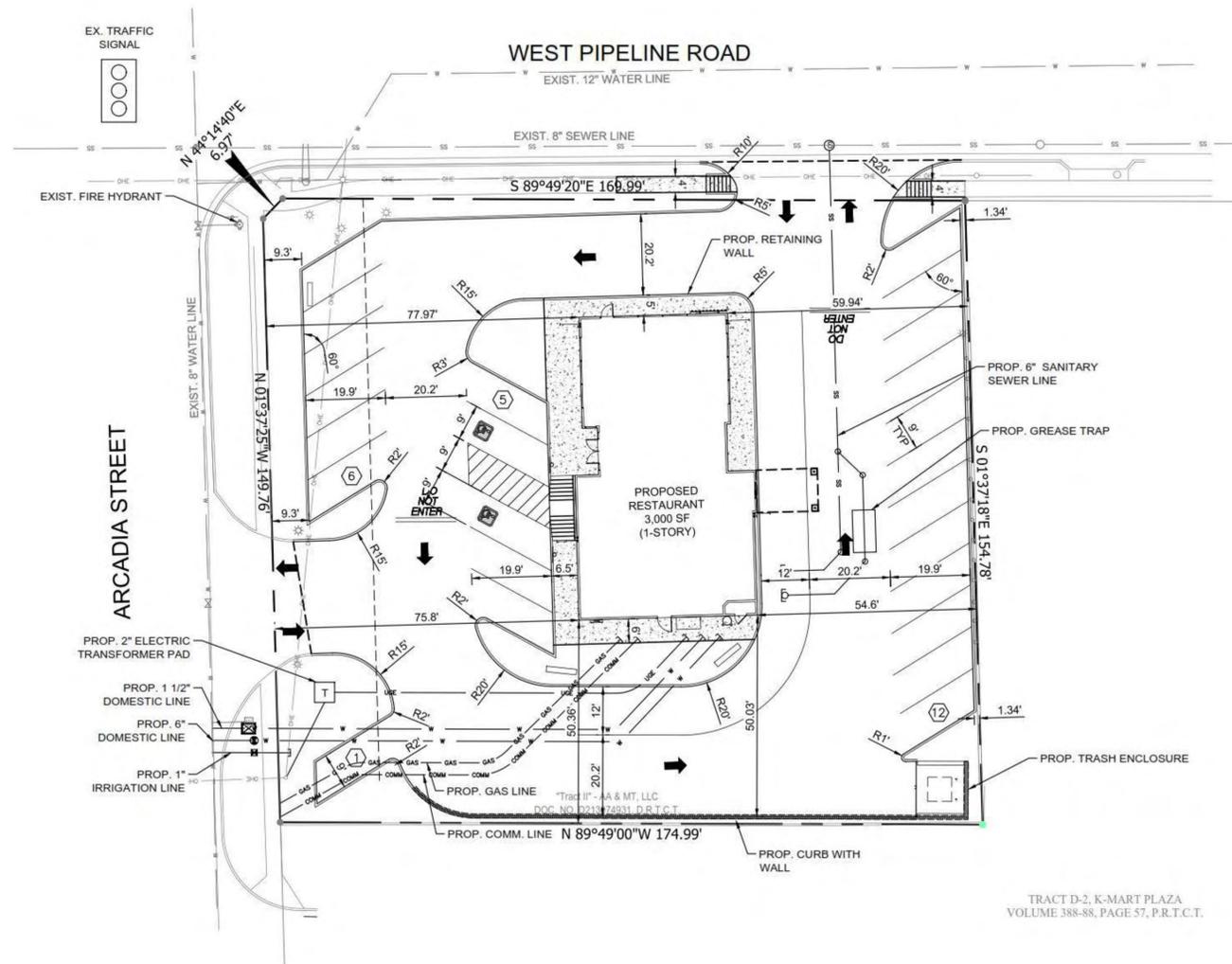
El Pollo Loco  
Site Plan  
Lot D1, Block 1  
K-Mart Plaza Addition  
1245 Pipeline Rd.

**The following is a list of the property owners, legal description of their property, and mailing address of the owners of the property within 200 feet of the above-described property, which is under application for a site plan:**

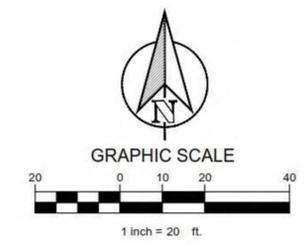
**Applicant: Clay Christy with Clay Moore Engineering**

<b>PROPERTY OWNER</b>	<b>LEGAL DESCRIPTION</b>	<b>ADDRESS</b>
PIPELINE 13 A LP ETAL	BLK 1 LOT D2R K-Mart Plaza Addition	12411 VENTURA BLVD Studio City, CA 91604
AA & MT LLC	BLK 1 LOT D1 K-Mart Plaza Addition	1245 W PIPELINE RD Hurst, TX 76053
FRANSHISE REALTY INT CORP ETAL	BLK 1 LOT A1R K-Mart Plaza Addition	PO BOX 66351 Chicago, IL 60666
KRG MARKET ST VILLAGE LP	BLK 1 LOT AR1 K-Mart Plaza Addition	30 S MERIDIAN ST STE 1100 INDIANAPOLIS, IN 46204
KRG MARKET ST VILLAGE LP	BLK 1 LOT AR1 K-Mart Plaza Addition	30 S MERIDIAN ST STE 1100 INDIANAPOLIS, IN 46204
SHOPS AT NORTHEAST MALL LLC	BLK 1R LOT 1R2 Hurst Plaza Addition	225 W WASHINGTON ST INDIANAPOLIS, IN 46204
SHOPS AT NORTHEAST MALL LLC	BLK 1R LOT 1 Hurst Plaza Addition	225 W WASHINGTON ST INDIANAPOLIS, IN 46204
<b>OCCUPANT</b>	BLK 1 LOT D2R K-Mart Plaza Addition	1317 W PIPELINE RD Hurst, TX 76053
<b>OCCUPANT</b>	BLK 1 LOT A1R K-Mart Plaza Addition	1401 W PIPELINE RD Hurst, TX 76053
<b>OCCUPANT</b>	BLK 1 LOT AR1 K-Mart Plaza Addition	1405 W PIPELINE RD Hurst, TX 76053
<b>OCCUPANT</b>	BLK 1R LOT 1R2 Hurst Plaza Addition	801 NORTH EAST MALL BLVD Hurst, TX 76053
<b>OCCUPANT</b>	BLK 1R LOT 1 Hurst Plaza Addition	801 NORTH EAST MALL BLVD Hurst, TX 76053

EXHIBIT A



VICINITY MAP  
N.T.S.



LEGEND	
	PROPOSED CONCRETE SIDEWALK
	PROPOSED CONCRETE CURB AND GUTTER
	PARKING COUNT
	FULL-DEPTH SAWCUT
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER AND CLEANOUT

SITE DATA TABLE	
<b>GENERAL</b>	
LOT NUMBER	TRACT D-1 KMART PLAZA
ZONING	GB
PROPOSED USE	RESTAURANT
LOT SIZE (ACRES)	0.62
LOT SIZE (SQ. FT.)	27,056
BUILDING AREA (SQ. FT.)	3,000
BUILDING HEIGHT (FT - # STORIES)	30 - 1 STORY
<b>LOT COVERAGE</b>	
REQUIRED	50% MAX
PROVIDED	11.09%
<b>FLOOR AREA RATIO</b>	
REQUIRED	1:1 MAX
PROVIDED	1:0.11
<b>PARKING</b>	
REQUIRED(1:125 SF RESTAURANT)	24
PROVIDED	24
ADA SPACES REQUIRED	1
ADA SPACES PROVIDED	2
<b>PARKING AREA (SQ. FT. / %)</b>	
	20,194 / 74.63%
<b>TOTAL IMPERVIOUS AREA (SQ. FT. / %)</b>	
	23,194 / 85.72%

- NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
  - REFER TO ARCHITECTURAL PLANS FOR FENCE AND GATE DETAILS.

**BENCHMARK #1**  
BOX CUT ON SOUTH TOP OF CURB OF WEST PIPELINE ROAD AT EAST END OF EAST DRIVEWAY, 182' EAST OF THE EAST CURB OF ARCADIA STREET.  
ELEVATION 554.47

**BENCHMARK #2**  
BOX CUT ON EAST TOP OF CURB OF ARCADIA STREET AT THE SOUTH END OF SOUTH DRIVE, 152' SOUTH OF THE SOUTH CURB OF WEST PIPELINE ROAD.  
ELEVATION 556.71

PLOTTED BY: HENRY  
 PLOT DATE: 12/22/2015 10:50 AM  
 LOCATION: C:\EGN\TE\SHARED\PROJECTS\EL POLLO LOCO - HURST\CADD\SHEETS\SP-1 OVERALL SITE PLAN.DWG  
 LAST SAVED: 12/18/2015 9:34 AM



**PRELIMINARY**  
FOR REVIEW ONLY  
Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
ENGINEERING AND PLANNING CONSULTANTS  
Engineer: CLAY CRISTY  
P.E. No. 109800 Date 12/18/2015

**EL POLLO LOCO**  
**1245 W PIPELINE RD**  
**HURST, TEXAS**

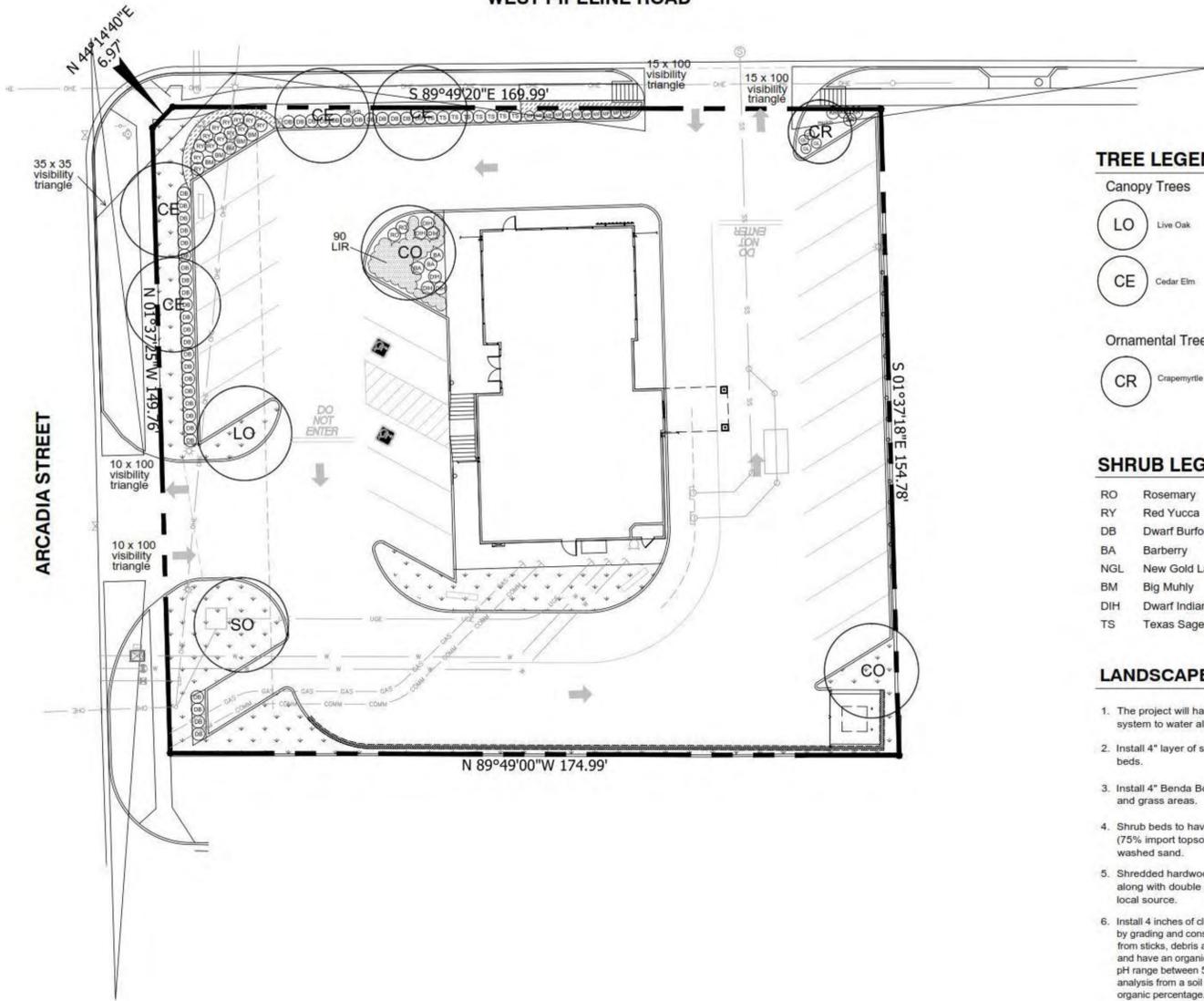
No.	DATE	REVISION	BY

OVERALL SITE PLAN

DESIGN: HCV  
DRAWN: HCV  
CHECKED: CLC  
DATE: 12/18/2015

SHEET  
**SP-1**

WEST PIPELINE ROAD



TREE LEGEND

- Canopy Trees
- LO Live Oak
  - CO Chinquapin Oak
  - CE Cedar Elm
  - SO Shumard Oak
- Ornamental Trees
- CR Crapemyrtle

SHRUB LEGEND

- RO Rosemary
- RY Red Yucca
- DB Dwarf Burford Holly
- BA Barberry
- NGL New Gold Lantana
- BM Big Muhly
- DIH Dwarf Indian Hawthorne
- TS Texas Sage

HATCH LEGEND

- Solid Sod
- Bermuda Grass
- Decomposed Granite

LANDSCAPE NOTES

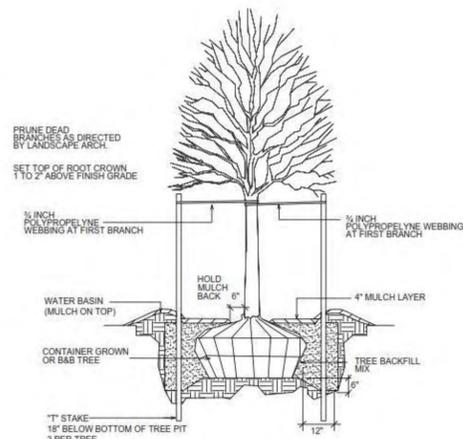
- The project will have an underground automatic irrigation system to water all new plantings.
- Install 4" layer of shredded hardwood mulch to all planting beds.
- Install 4" Benda Board edging between all shrub beds and grass areas.
- Shrub beds to have 12 inches of prepared planting mix (75% import topsoil, 15% composted amendment, 10% washed sand).
- Shredded hardwood mulch must contain long strands along with double shred finer material obtained from a local source.
- Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil makeup and organic percentage.
- Hydromulch all areas disturbed by construction activities.

LANDSCAPE CALCULATIONS

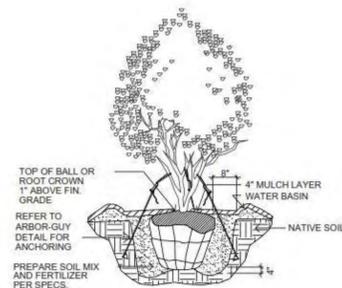
Total Site Area	27,059 SF	Required	Provided
15% Required Landscape Area	4,059 SF		3,783 SF (13%) variance requested
<b>Landscape Setback Area</b>			
W Pipeline Rd	170 LF	Required	Provided
Large Trees	1 per 50 ft. or 15 ft. width buffer	4 large trees	2 large trees 1 orn. tree variance requested
Shrubs	10 per 50 ft.	34 shrubs	34 shrubs
Arcadia Street	150 LF		
Large Trees	1 per 50 ft. or 15 ft. width buffer	3 trees	3 large
Shrubs	10 per 50 ft.	30 shrubs	31 shrubs
<b>Parking Lot Landscape</b> 24 Spaces			
1 Large tree every 20 spaces		2 trees	2 large trees
No space greater than 100 ft. from a tree			
Parking Area	13,452 sf.	Required	Provided
5% Req. Landscape Area		673 sf.	915 sf. (6.8%)

PLANT LIST

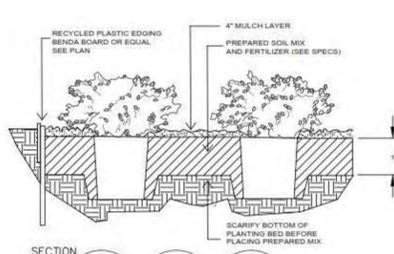
CANOPY TREES			
1	LO	Live Oak	Quercus virginiana 3 1/2" cal. 65 gal. 10' ht. 5' spread
1	SO	Shumard Oak	Quercus shumardii 3 1/2" cal. 65 gal. 10' ht. 5' spread
2	CO	Chinquapin Oak	Quercus muhlenbergii 3 1/2" cal. 65 gal. 10' ht. 5' spread
4	CE	Cedar Elm	Ulmus crassifolia 3 1/4" cal. 65 gal. 12' ht. 5' spread
ORNAMENTAL TREES			
1	CR	Crapemyrtle	Lagerstroemia indica 30 gal. 8' ht. 3 trunk 2 1/2" cal. min.
SHRUBS & GROUNDCOVERS			
2	RO	Rosemary	Rosemarinus prostratus 5 gal. 36" oc
13	RY	Red Yucca	Hesperaloe parviflora 5 gal. 36" oc
37	DB	Dwarf Burford Holly	Ilex cornuta 'Burfordii' nana 5 gal. 36" oc
3	BA	Barberry	Berberis thunbergii 'Atropurpurea' 5 gal. 36" oc
90	LJR	Liriope	Liriope muscari 'Big Blue' 4" pots 18" oc
5	BM	Big Muhly	Muhlenbergia lindheimeri 5 gal. 36" oc
6	DIH	Dwarf Indian Hawthorne	Raphiolepis indica 'Pinkie' 5 gal. 36" oc
8	TS	Texas Sage	Leucophyllum frutescens 'Silverado' 5 gal. 36" oc
11	MF	Mx. Feathergrass	Muhlenbergia lindheimeri 1 gal. 30" oc
4	KR	Knockout Rose	Rosa 'Radrazz' 5 gal. 36" oc
4	GL	Giant Liriope	Liriope gigantea 5 gal. 36" oc



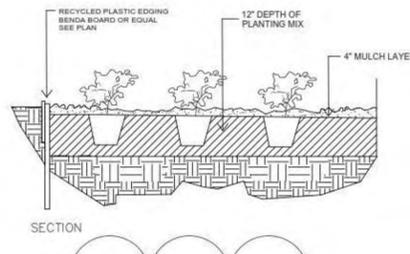
1 CANOPY TREE PLANTING SCALE: NONE



2 MULTI-TRUNK PLANTING SCALE: NONE



3 SHRUB PLANTING SCALE: NONE



4 GROUNDCOVER PLANTING SCALE: NONE

**site integration studio**  
Landscape Architecture - Sustainable Site Planning - Natural Resource Design

**John F. Murphy, ASLA**

6647 Oak Hill Blvd.  
Tyler, TX 75703  
john@siteint.com  
scott@siteint.com

512-432-3822 - Mobile  
903-533-8899 - Tyler  
512-589-9584 - Austin  
www.siteint.com

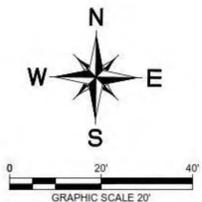
TEXAS REGISTRATION #14198

**GLAY MOORE ENGINEERING**

REGISTERED LANDSCAPE ARCHITECT  
JOHN F. MURPHY  
973  
STATE OF TEXAS  
12/22/15

**EL POLLO LOCO**  
1245 W PIPELINE RD  
HURST, TEXAS

LANDSCAPE PLAN



DESIGN:	HCU
DRAWN:	HCU
DATE:	12/22/2015
SHEET	L-1

EXHIBIT C



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**SIDE ENTRY ELEVATION**

SCALE: 1/4" = 1'-0"

**LEGEND**

- EP1 SHERWIN WILLIAMS - SW 7017 DORIAN GRAY  
STUCCO = EXTERIOR GRADE EGGSHELL FINISH  
DOORS = EXTERIOR GRADE SEMI-GLOSS FINISH
- EP2 DUNN EDWARDS - DE6377 BOAT ANCHOR  
EXTERIOR GRADE EGGSHELL FINISH
- BK1 McNear BRICK & BLOCK - THIN BRICK, SANDMOLD SERIES (TMOU)  
CONTACT: RESOURCE BUILDING MATERIALS (949) 855-9994  
MORTAR: SPEC MIX TYPE #213 SLATE; JOINT WIDTH: 1/8"
- T4 CEMENT TILE SHOP - PACIFIC CLASSIC COLLECTION, PATCHWORK 8" x 8"  
RANDOMLY MIX THE FOLLOWING COLORS:  
25% BLACK & WHITE, 25% RED, 25% BLUE, 25% YELLOW  
CONTACT: CUSTOMER SERVICE (800) 704-2701  
GROUT: MAPEI 19 PEARL GRAY; JOINT WIDTH: 1/16"
- MF1 HOT-ROLLED STEEL - BLACKENED (GUN BLUE)
- AW AWNINGS BY VENDOR - FINISH TO MATCH MF-1



ARMET DAVIS NEWLOVE &  
ASSOCIATES, AIA ARCHITECTS

1330 OLYMPIC BLVD.  
SANTA MONICA, CALIFORNIA 90404  
PH 310 452-5533 FAX 310 450-4742

REV.	DATE	DESCRIPTION
09/28/15		PLANNING COMMENTS #1

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT. WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.



EXPIRES 01/31/2016



LOCATION  
**MDP - PROTOTYPE STD.**  
**STORE #6143**  
386 E. STACY RD.  
ALLEN, TX 75002

DATE  
09/10/15  
JOB NO.  
15-6143  
DRAWN BY  
CW  
CHECKED BY  
PD/TF

ELEVATIONS

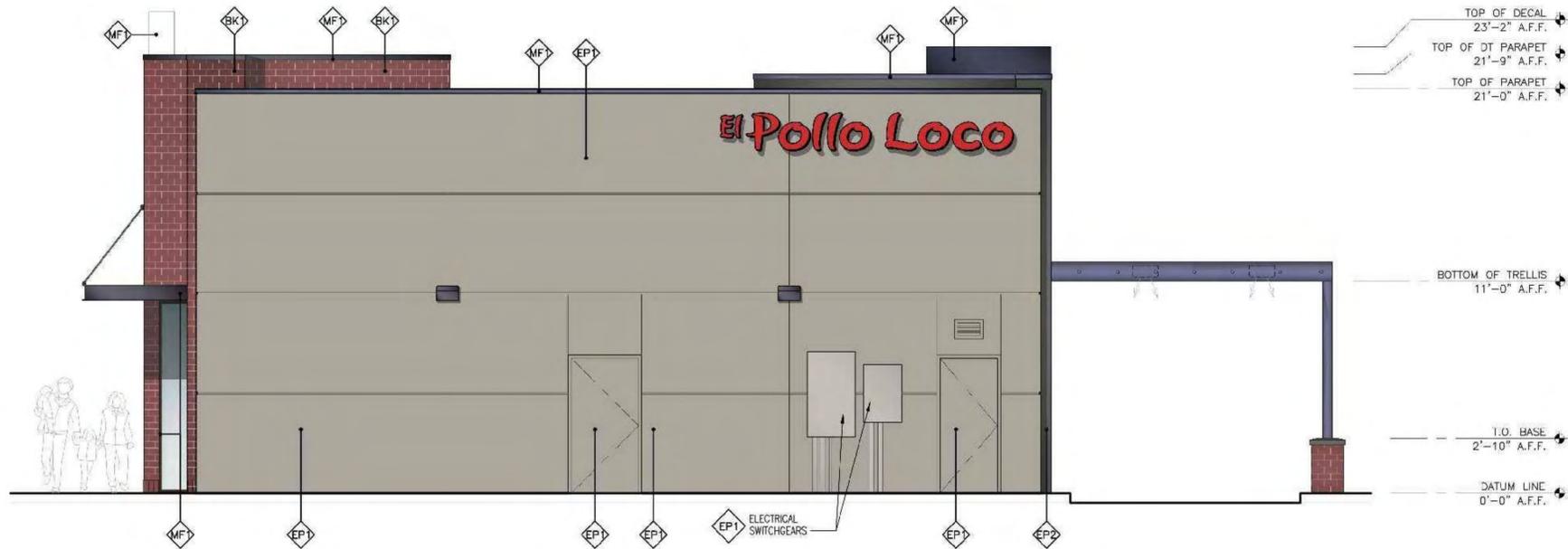
**A4**

EXHIBIT D



**DRIVE-THRU ELEVATION**

SCALE: 1/4" = 1'-0"



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

**LEGEND**

- EP1 SHERWIN WILLIAMS - SW 7017 DORIAN GRAY  
STUCCO = EXTERIOR GRADE EGGSHELL FINISH  
DOORS = EXTERIOR GRADE SEMI-GLOSS FINISH
- EP2 DUNN EDWARDS - DE6377 BOAT ANCHOR  
EXTERIOR GRADE EGGSHELL FINISH
- BK1 McNEER BRICK & BLOCK - THIN BRICK, SANDMOLD SERIES (TIVOLI)  
CONTACT: RESOURCE BUILDING MATERIALS (949) 855-9954  
MORTAR: SPEC MIX TYPE #213 SLATE; JOINT WIDTH: 1/8"
- T4 CEMENT TILE SHOP - PACIFIC CLASSIC COLLECTION, PATCHWORK 8" X 8"  
RANDOMLY MIX THE FOLLOWING COLORS:  
25% BLACK & WHITE, 25% RED, 25% BLUE, 25% YELLOW  
CONTACT: CUSTOMER SERVICE (800) 704-2701  
GROUT: MAPEI 19 PEARL GRAY; JOINT WIDTH: 1/16"
- MF1 HOT-ROLLED STEEL - BLACKENED (GUN BLUE)
- AW1 AWNINGS BY VENDOR: FINISH TO MATCH MF-1

**adn**  
 ARMET DAVIS NEWLOVE &  
 ASSOCIATES, AIA ARCHITECTS  
 1330 OLYMPIC BLVD.  
 SANTA MONICA, CALIFORNIA 90404  
 PH 310 452-5533 FAX 310 450-4742

REV.	DATE	DESCRIPTION
09/28/15		PLANNING COMMENTS #1

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EXPIRES 01/31/2016



LOCATION  
**MDP - PROTOTYPE STD.**  
**STORE #6143**  
 386 E. STACY RD.  
 ALLEN, TX 75002

DATE  
 09/10/15  
 JOB NO.  
 15-6143  
 DRAWN BY  
 CW  
 CHECKED BY  
 PD/TF

ELEVATIONS

**A5**

Y:\Active Projects\EI Pollo Loco\15 - EPL - Projects\15 - EPL - # 6143 Allen - TX (Stacy Road)\Drawings\6143 Allen - A4 & A5 - HDI.DWG, 10/20/2015 3:55:21 PM

S/F 5'-4" X 4'-0 3/8" INTERNALLY ILLUMINATED WALL ELEMENT/LOGO (21.5 SQUARE FEET) **C2**



01 Front Elevation (North)  
SCALE: 1/4" = 1'-0"

S/F 5'-4" X 4'-0 3/8" INTERNALLY ILLUMINATED WALL ELEMENT/LOGO (21.5 SQUARE FEET) **C1**



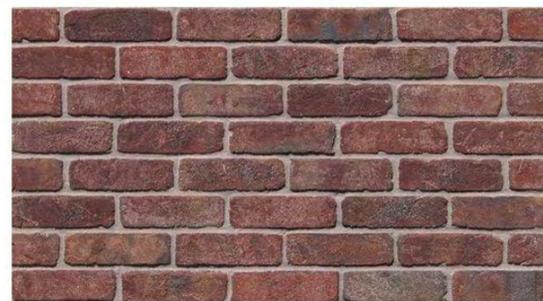
02 Side Elevation (West)  
SCALE: 1/4" = 1'-0"



**One Coat Plaster Color No. 1**  
Dunn Edwards DE6377 Boat Anchor



**One Coat Plaster Color No. 2**  
SW Dorian Gray



**Thin Brick**  
McNear Brick & Block, Tivoli



**Ceramic Tile Random**  
Cement Tile Shop-Patchwork Random



Duane Meyers  
Architect  
500 PR 3422  
Umcourt  
903-484-4040  
dmeyers@mac.com

# El Pollo Loco Hurst, Texas

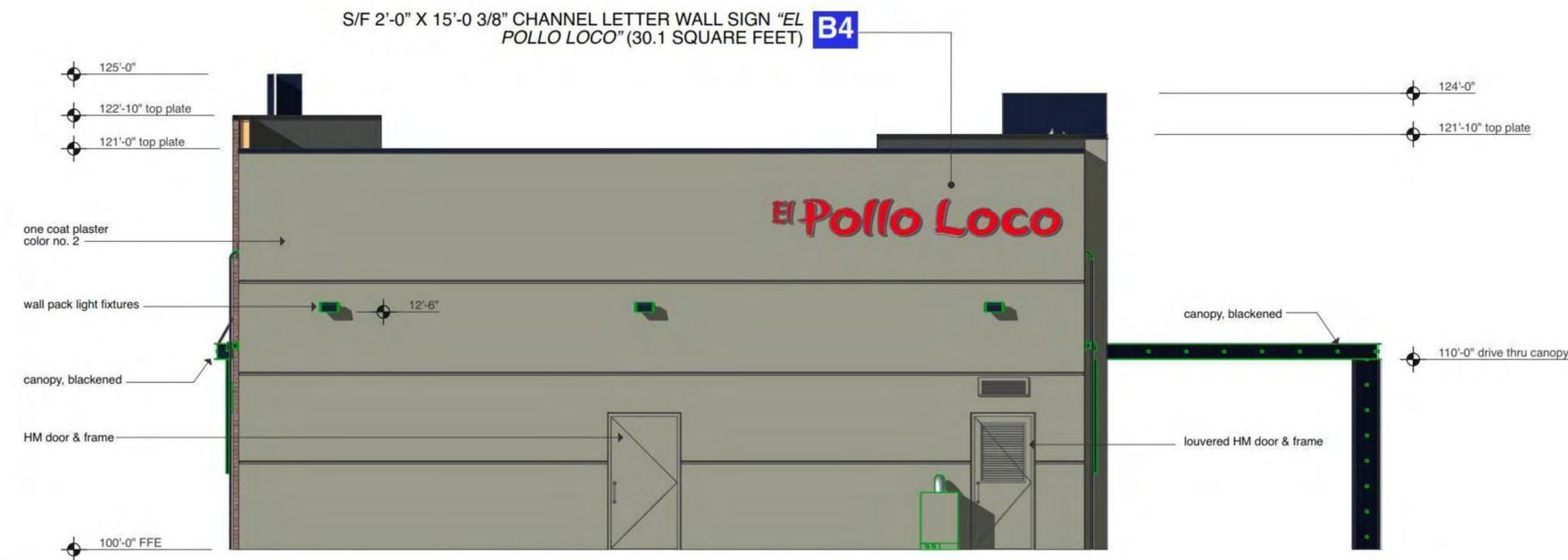
Revisions

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## A3.01



01 Side Elevation (East)  
SCALE: 1/4" = 1'-0"



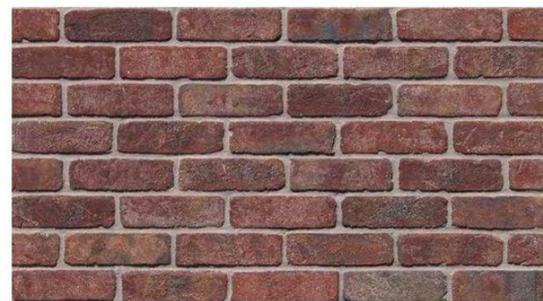
01 Front Elevation (North)  
SCALE: 1/4" = 1'-0"



**One Coat Plaster  
Color No. 1**  
Dunn Edwards DE6377 Boat Anchor



**One Coat Plaster  
Color No. 2**  
SW Dorian Gray



**Thin Brick**  
McNear Brick & Block, Tivoli



**Ceramic Tile Random**  
Cement Tile Shop-Patchwork Random



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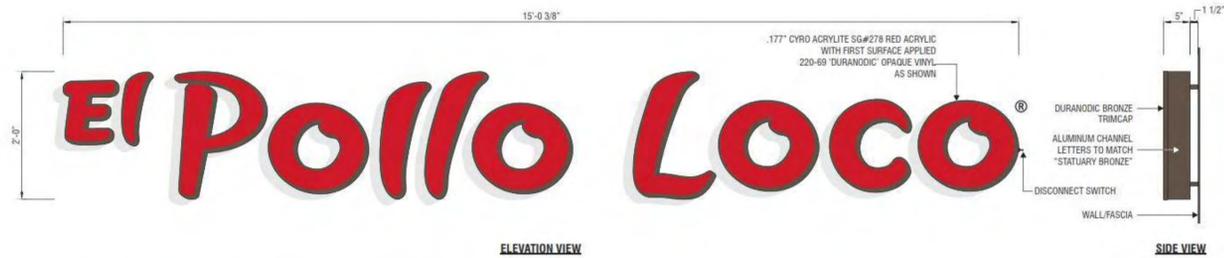
# El Pollo Loco Hurst, Texas

Revisions

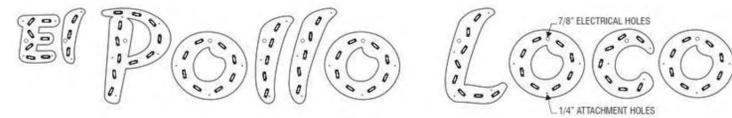
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**A3.02**

28 Dec 2015

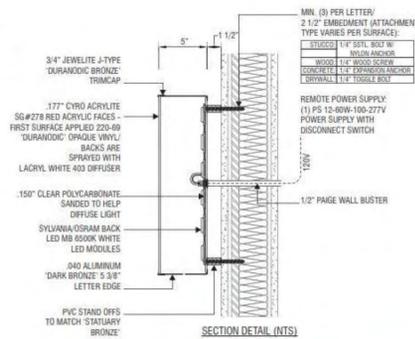


**24" FACE & HALO ILLUMINATED CHANNEL LETTER WALL SIGN 30.1 SQUARE FEET**  
SCALE: 3/4" = 1'-0"

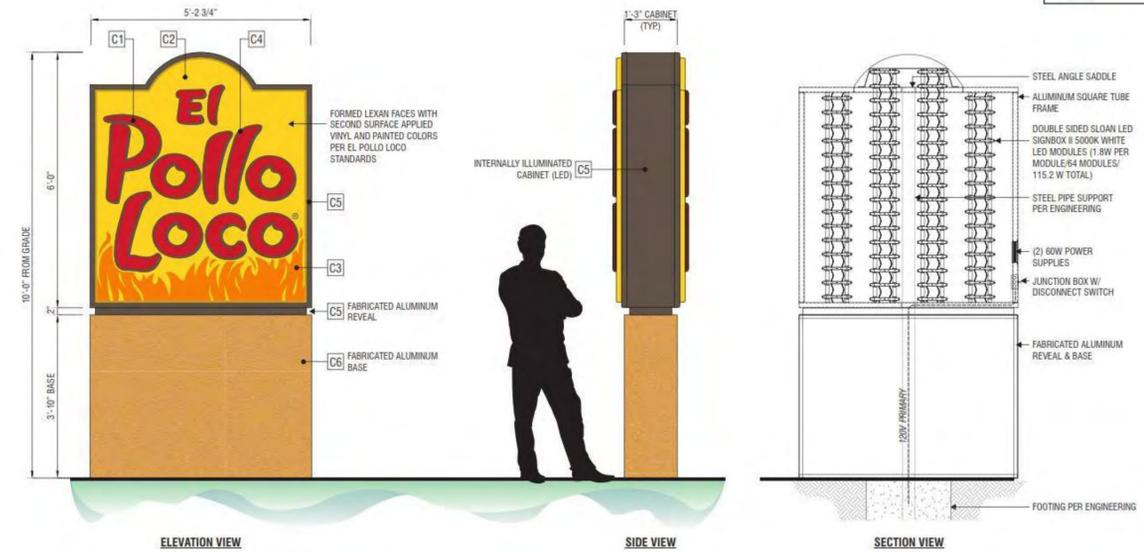


**LED:**  
(78) SYLVANIA-OSRAM BACKLED MB (MEDIUM BASIC) 6500K WHITE MODULES  
75 WATTS PER MODULE  
**POWER SUPPLY:**  
(1) PS 12-60W-100-277V POWER SUPPLY  
**(78) LED MODULES**  
@ 75W EACH = 58.5W TOTAL  
(1) POWER SUPPLIES @100% EFFICIENCY = 120W MAX.

NOTES: 120V POWER. SIGN TO BE UL LISTED WITH APPROVED DISCONNECT SWITCH. GROUNDING AND BONDING IN ACCORDANCE WITH ARTICLE 600 NEC.



CUSTOMER APPROVAL  
APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

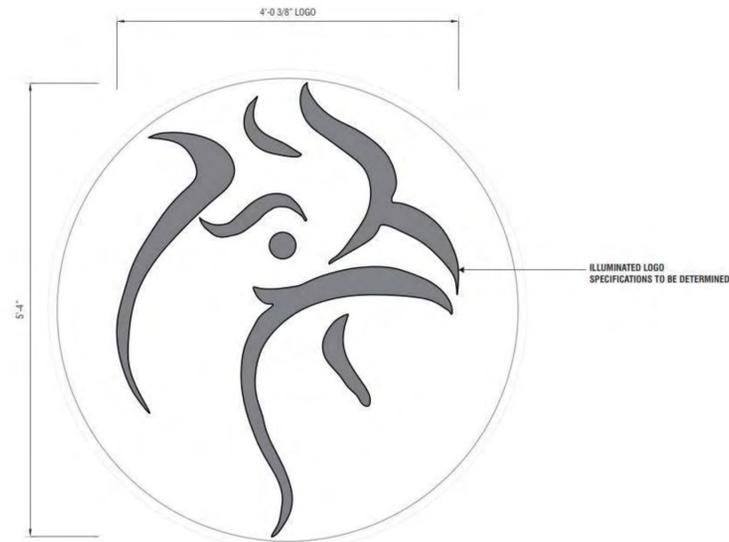


**D/F TRIMLESS MONUMENT SIGN 31.4 SQUARE FEET**  
SCALE: 1/2" = 1'-0"

NOTES: 120V POWER. SIGN TO BE UL LISTED WITH APPROVED DISCONNECT SWITCH. GROUNDING AND BONDING IN ACCORDANCE WITH ARTICLE 600 NEC.

COLOR SPECIFICATIONS	
C1	PANTO MATCH PMS 196C 'RED'
C2	PANTO MATCH PMS 100C 'YELLOW'
C3	3830-84 'TANGERINE' VINYL
C4	220-69 'DURANODIC' OPAQUE VINYL
C5	PANTO MATCH 'STATUARY BRONZE'
C6	PANTO MATCH 'CI A8650' WOOD FINISH (MED. TEXTURE FINISH)

CUSTOMER APPROVAL  
APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_



**ILLUMINATED WALL SIGN**  
SCALE: 3/4" = 1'-0"

CUSTOMER APPROVAL  
APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_



Duane Meyers  
500 PR 3422  
Uncle Sam  
001-484-4040  
dimeyers@mac.com

# El Pollo Loco Hurst, Texas

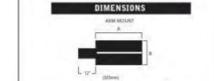
Revisions

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## A3.03

**WLS LIGHTING SYSTEMS**

**FV SERIES** VERTICAL LAMP / FLAT GLASS LENS



Mount	21.5" (549mm)	13.4" (340mm)
FVR Arm Mount	21.5" (549mm)	13.4" (340mm)
FVR Arm Mount	21.5" (549mm)	16.1" (410mm)

Beam Spread	Foot Candles	Foot Candles
Simple	3.2	3.8
DPF	3.3	7.8
DPF	5.7	7.8
TSF	8.8	11.4
TSF	3.0	11.4
TSF	11.4	13.2



**SPECIFICATIONS**

**HOUSING** - The FV Series formed aluminum housing is finished to produce a clean, sharp appearance and ensures weather-tight construction. Available in 2 sizes. Medium (reduced envelope 400 Watt Lamp) and Reduced (reduced envelope 1000 Watt Lamp).

**LENS/GASKET** - A flat tempered glass lens is sealed to the housing with an EPDM gasket, preventing entry of moisture, dust and insects. Combined with the vertical burn feature, the flat glass lens provides high performance lighting.

**TOP ACCESS** - Is secured by four captive stainless steel fasteners and provides ease of installation and servicing.

**FINISHES** - Each fixture is finished with a baked-on polyester powder finishing process to give the fixture an exceptionally attractive appearance. Standard finish colors include bronze, black, platinum and white. The polyester finish withstands extreme weather changes without cracking or peeling. Consult factory for available custom colors and pinstripe decal options.

**REFLECTORS/DISTRIBUTION PATTERNS** - The FV Series fixture is available in five reflector systems and distribution patterns, all with vertical burn lamps: Type II (2), Type III (3), Type V (5), Perimeter Forward Throw (FP) and Super Reflector (SR) for a minimum mounting height of 30 feet. Reflectors are field-rotatable, enabling generous flexibility in distribution patterns without future movement.

**LIGHT SOURCES** - Designed to operate with Pulse-Start Metal Halide, Natural White, Super Metal Halide, Metal Halide, Metal Halide Reduce Envelope or High Pressure Sodium.

**SOCKETS** - Porcelain mogul-base sockets with spring-reinforced contacts.

**BALLAST** - Pulse Start Metal Halide, Metal Halide, Super Metal Halide, and High Pressure Sodium feature a high-power factor CWA ballast, and are designed for -20°F operation.

**BRACKETS - Arm Mount:** 5 1/2" x 2 1/2" x 12" length shipped standard. (An 8" bracket is available for single or D180 configurations, but must be ordered separately from Options column of the ordering chart.) A Round Pole Plate (RPP) is required for mounting to 3" - 5" round poles. (See Options in Luminaire Ordering Information.)

**DECAL STRIPING** - WLS offers optional color-coordinated decals in 9 standard colors to accent the fixture. Decal is guaranteed for five years against peeling, cracking, or fading.

Approved By: \_\_\_\_\_ Project Name: \_\_\_\_\_  
 Location: \_\_\_\_\_ Date: \_\_\_\_\_  
 1919 Windsor Place • Fort Worth, TX 76110 • 800.633.8711 • Fax: 817.735.4824 • www.wslighting.com • Consider the Impact!

**FV SERIES** VERTICAL LAMP / FLAT GLASS LENS

**ORDERING INFORMATION** SELECT APPROPRIATE CHOICE FROM EACH COLUMN TO FORMULATE ORDER CODE. Refer to example below.

LUMINAIRE	DISTRIBUTION	LAMP WATTAGE	LIGHT SOURCE	LENS	LINE VOLTAGE	LUMINAIRE FINISH	OPTIONS
FVM	2 - Type II 3 - Type III FP - Perimeter Forward Throw 5 - Type V	250W 300W 350W (Photo only) 400W	PSMH - Pulse-Start Metal Halide NPS - High Pressure Sodium	FG - Flat Glass	480V MT - Multi Tap 1-4 TT - Tri Tap 1-4	BRZ - Bronze BLK - Black PLT - Platinum WHT - White SEV - Metallic Silver CC - Custom Color	LL - Lens LMP - Lamp SS - Glass Shield HNG - Hanger RPP - Round Pole Plate BKT-WM - Wall Mount Plate SP - Single Fusing DP - Double Fusing AS - Accent Striping PC - Photo Cell NO - No System
FVR	2 - Type II 3 - Type III FP - Perimeter Forward Throw 5 - Type V AP - Automotive Forward Throw AI - Automotive Infrared SR - Super Reflector	250W 300W 350W 400W	NW - Natural White MHR - Metal Halide Reduce Envelope PSMH - Pulse-Start Metal Halide NPS - High Pressure Sodium NW - Natural White				

**ORDER:** FV 5 1000 MH FG MT BRZ NO

**FOOTNOTES:**

- The top not available in 1000 Watt PSMH. Voltage must be specified - 120V, 277V or 347V.
- For non-removable voltage conversion factory.
- MT - Multi Tap is shipped standard unless otherwise specified. Multi Tap consists of 120V, 208V, 240V, and 277V. Multi Tap is pre-wired for highest voltage. Alternate voltages will require field wiring.
- The top is shipped standard for Canadian applications. The top consists of 120V, 277V, and 347V.
- The top is pre-wired for highest voltage. Alternate voltages will require field wiring.
- An 8" bracket can only be ordered with single and D180 configurations.
- On FVR photoelectric control can only be used with 400 Watt PSMH.

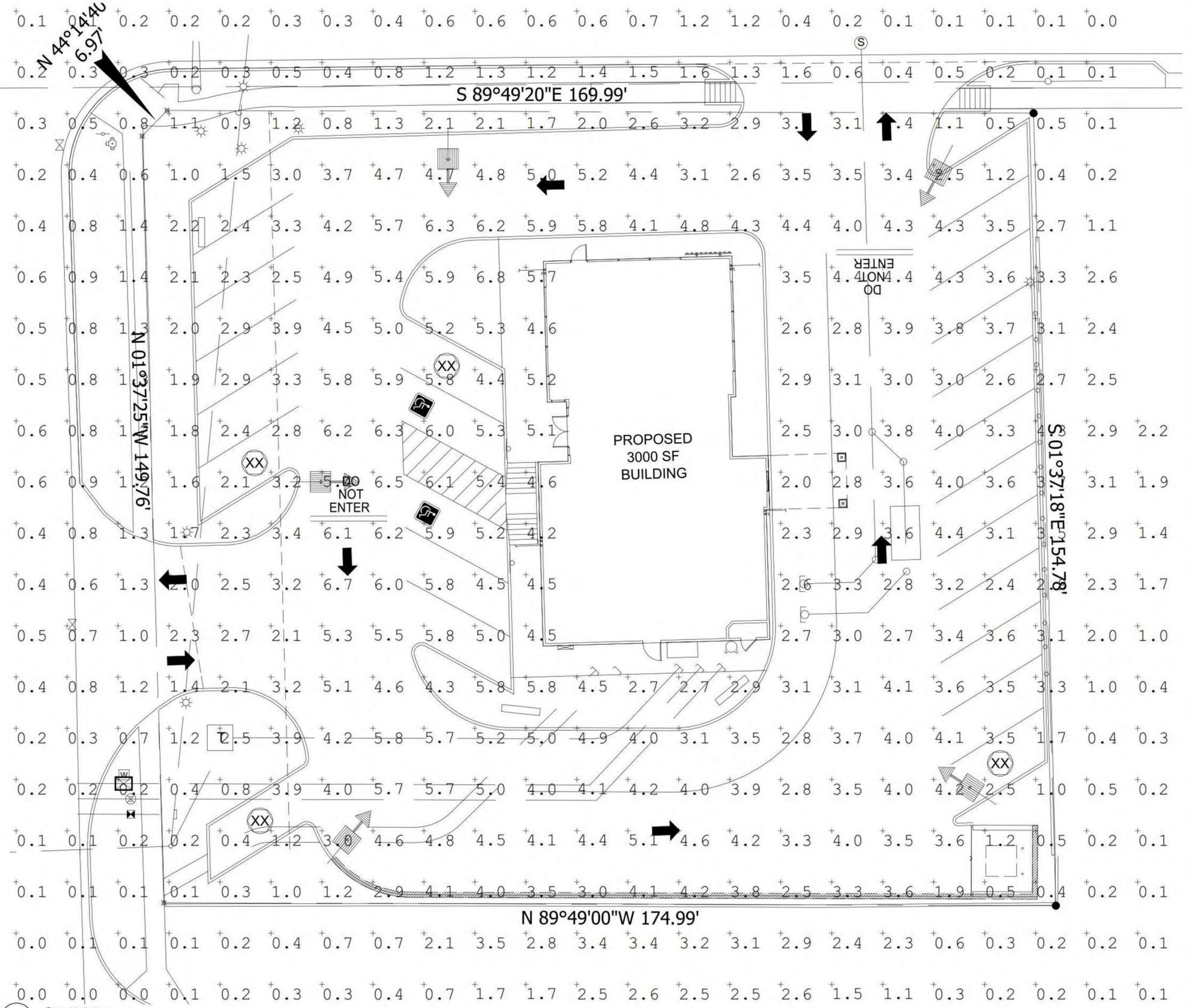
**Color Breaks**

45 - Light Gold Metallic	55 - Black
20 - Charcoal Metallic	50 - White
34 - Blue Metallic	51 - Dark Red
59 - Dark Green	700 - Aztec Silver Metallic
21 - Tempest Red	

**ACCESSORY ORDERING INFORMATION** (Accessories are field installed)

Description: FVR/FVM 2 HSS - House Side Shield  
 FVR/FVM 3 HSS - House Side Shield  
 FVR/FVM FP HSS - House Side Shield  
 FVR/FVRT FA/AF HSS - House Side Shield

Approved By: \_\_\_\_\_ Project Name: \_\_\_\_\_  
 Location: \_\_\_\_\_ Date: \_\_\_\_\_  
 1919 Windsor Place • Fort Worth, TX 76110 • 800.633.8711 • Fax: 817.735.4824 • www.wslighting.com • Consider the Impact!



02 Site Lighting SCALE: 1" = 10'

**Calculation Summary**

Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpLr	PtSpTb
PARKING SUMMARY	Fc	4.06	6.8	1.2	3.38	5.67	10	10

**Luminaire Schedule**

Symbol	Qty	Label	Lumens	LLF	Description
	5	B	60000	0.850	WLS-FVR-SR-575-PSMH-FG-GS 30' MOUNTING HEIGHT



**El Pollo Loco**  
 Hurst, Texas

Revisions

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ORDINANCE 2312

AN ORDINANCE ADOPTING A SITE PLAN APPROVAL FOR LOT D1, BLOCK 1, K-MART PLAZA ADDITION, BEING .62 ACRE LOCATED AT 1245 PIPELINE ROAD, SP-15-18

WHEREAS, notice of a hearing before the Planning and Zoning Commission was sent to real property owners within 200 feet of the property herein described at least 10 days before such hearing; and,

WHEREAS, notice of a public hearing before the City Council was published in a newspaper of general circulation in Hurst at least 15 days before such hearing; and,

WHEREAS, notices were posted on the subject land as provided by the Zoning Ordinance; and,

WHEREAS, public hearings to change the site plan on the property herein described were held before both the Planning and Zoning Commission and the City Council, and the Planning and Zoning Commission has heretofore made a recommendation concerning the site plan change; and,

WHEREAS, the City Council is of the opinion that the site plan change herein effectuated furthers the purpose of zoning as set forth in the Comprehensive Zoning Ordinance and is in the best interest of the citizens of the City of Hurst.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HURST, TEXAS:

Section 1. THAT the Comprehensive Zoning Ordinance of the City of Hurst is hereby amended by adopting a site plan approval with Exhibits "A-H" for Lot D1, Block 1, K-Mart Plaza Addition, being .62 acre located at 1245 Pipeline Road.

AND IT IS SO ORDERED.

Passed on the first reading on the 12th day of January 2016 by a vote of \_ to \_ .

Approved on the second reading on the 26<sup>th</sup> day of January 2016 by a vote of \_ to \_.

ATTEST:

CITY OF HURST

\_\_\_\_\_  
Rita Frick, City Secretary

\_\_\_\_\_  
Richard Ward, Mayor

Approved as to form and legality:

\_\_\_\_\_  
City Attorney

City Council Staff Report

SUBJECT: Public Hearing for the FY 2016 – 42nd Year Community Development Block Grant (CDBG) Program	
Supporting Documents:	
Public Hearing Notice Calender of Events CDBG Proposed Project Location Map Questionnaire for CDBG Citizen Participation	Meeting Date: 1/12/2016 Department: Public Works Reviewed by: Gregory Dickens City Manager Review:
Background/Analysis:	
<p>Tarrant County will be receiving H.U.D. funding in 2016 for projects designed to upgrade low to moderate-income neighborhoods in the Community Development Block Grant (CDBG) area.</p> <p>Pursuant to the requirement of amended Community Development Act of 1974, each city must hold at least one Public Hearing. The hearing has been advertised for January 12, 2016, in the Fort Worth Star Telegram (see legal notice).</p> <p>The purpose of the Public Hearing is to receive citizen input for the Community Development Block Grant Program. The hearing will provide an open forum to obtain the views of citizens, as well as their concerns, regarding the expenditure of CDBG funds.</p> <p>The Public Hearing will guide staff and City Council towards adopting the 2016 Community Development Block Grant project. The minutes of the Public Hearing shall be submitted to Tarrant County as part of the document for the 42nd Year CDBG Project.</p>	
Funding and Sources:	
There is no fiscal impact.	
Recommendation:	
Staff recommends that a Public Hearing be held to discuss the 42 <sup>nd</sup> year CDBG Program.	

**REQUIRE PUBLICATION DATE OF SUNDAY, DECEMBER 13, 2015  
Fort Worth Star Telegram**

**From the City of Hurst**

**LEGAL NOTICE**

**CITY OF HURST  
REVIEW OF COMMUNITY DEVELOPMENT BLOCK GRANT  
FUNDING FOR THE FY 2016 – 42nd PROGRAM YEAR CDBG PROGRAM**

**A PUBLIC HEARING WILL BE HELD BY THE CITY OF HURST ON TUESDAY, JANUARY 12, 2016 AT 6:30 P.M. IN THE CITY HALL COUNCIL CHAMBERS, LOCATED AT 1505 PRECINCT LINE ROAD, PURSUANT TO THE REQUIREMENTS OF THE COMMUNITY DEVELOPMENT ACT OF 1974 AS AMENDED.**

**THE PURPOSE OF THE MEETING IS TO DISCUSS PROPOSALS FOR THE FY 2016-42nd PROGRAM YEAR COMMUNITY DEVELOPMENT PROGRAM. THIS PUBLIC HEARING WILL PROVIDE AN OPEN FORUM TO RECEIVE CITIZEN VIEWS, QUESTIONS, AND COMPLAINTS CONCERNING THE COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM.**

**FURTHER INFORMATION CAN BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS AT 817-788-7076. THE PUBLIC IS ENCOURAGED TO ATTEND.**

**s/ Richard Ward  
Mayor**

# COMMUNITY DEVELOPMENT BLOCK GRANT 42<sup>nd</sup> Year Program Year 2016

---

## IMPORTANT DATES

### **CDBG Project Proposal Review/Training \***

Thursday, December 10, 2015

11:00am – 12:00pm **OR** 3:00pm – 4:00pm

Tarrant County Community Development Division

1509B S. University Drive, Suite 276

Fort Worth, Texas 76107

\* PLEASE RSVP Susan Au (817) 850-7940 or [sau@TarrantCounty.com](mailto:sau@TarrantCounty.com)

Proposals are due Friday, January 29, 2016, no later than 12:00 noon

Submit: 2 Copies

(DO NOT include a copy of this guide please)

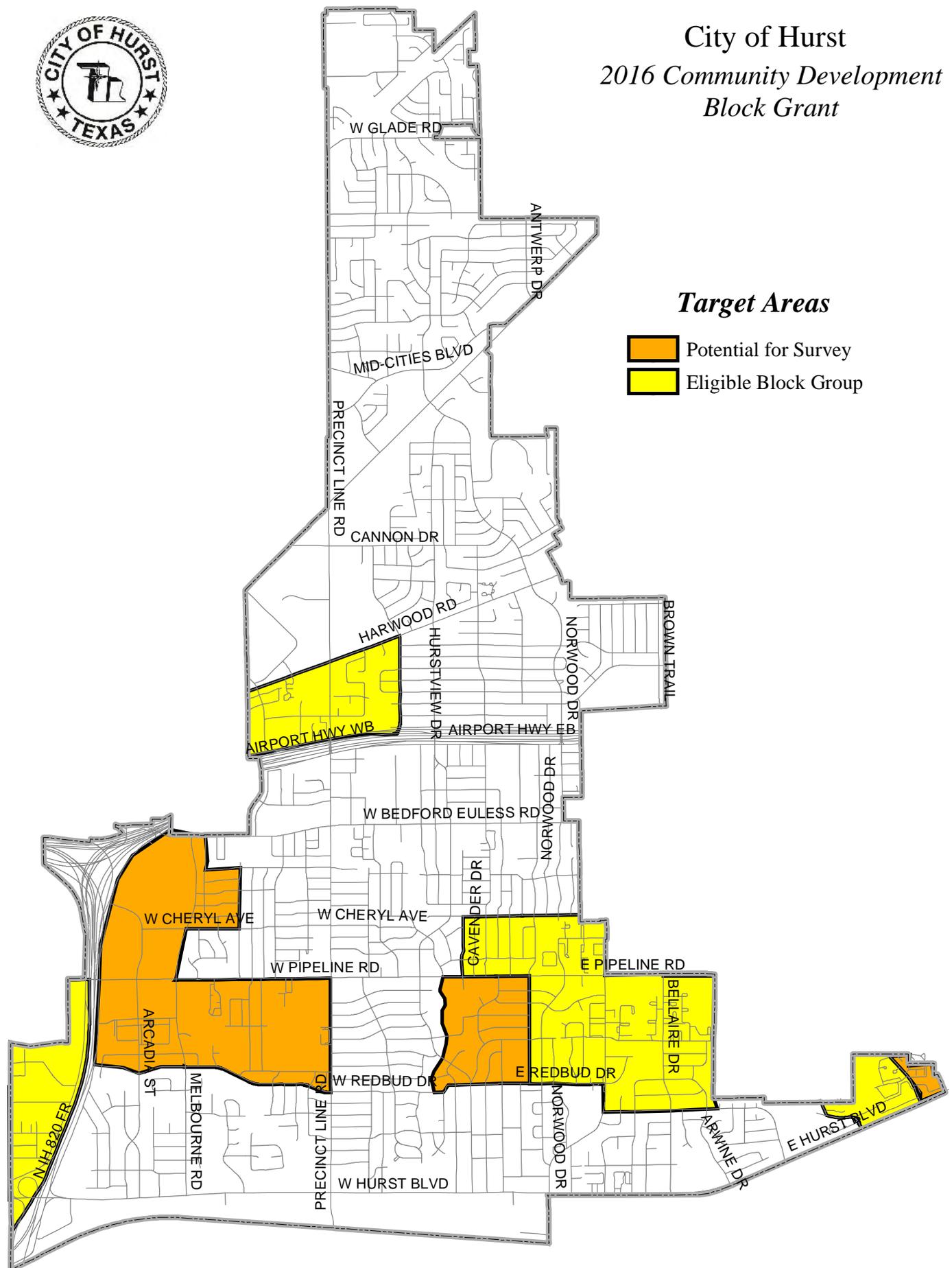
- Mayors' Council CDBG Ranking Committee – ranking based on PY2016 proposals
- City Public Hearings on Proposed Projects – December '15 thru March '16  
(You must have another hearing based on new budgets)
- All approved public hearing minutes **MUST** be submitted to Susan Au via mail, fax or e-mail before May 30, 2016.



# City of Hurst 2016 Community Development Block Grant

## Target Areas

- Potential for Survey
- Eligible Block Group



## QUESTIONNAIRE FOR CDBG CITIZEN PARTICIPATION

Your County Commissioner and City Council would like to find out what your community needs are. The information obtained from this questionnaire will be used to develop programs using Community Development Block Grant funds that Tarrant County will request from the Department of Housing and Urban Development.

Date \_\_\_\_\_

Name of the street where you live \_\_\_\_\_

Your interest and cooperation will help make your city and community a better place to live. Please put an "X" in the box that best answers the question of need.

PROJECTS	MOST NEEDED	NEED	DON'T NEED
Repair of houses	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Street improvements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Curbs and Gutters	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sidewalks	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Storm drains	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Removal of architectural barriers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Senior centers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Flood and drainage improvements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Water and sewer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

In my opinion, the most important single need of my community out of the above is:

---

---

Other services my community needs are: (please list)

---

---

My comments (other things I would like to tell my County Commissioner and City Council) are:

---

---

---

Notices on community development public meetings are published in area newspapers. All citizens' comments and input are welcome. Please return this form to the city officials at the end of the public hearing, or address written comments to:

Tarrant County Planning Department  
100 W. Weatherford Street  
Fort Worth, TX 76102

City Council Staff Report

SUBJECT: P-15-16 Professional Precinct Center, a final plat of Tract 3A4 WA Doty Survey, A 420 to Lot 1, Block 1, Professional Precinct Center Addition, being .853 acre located at 7040 Precinct Line Road

Supporting Documents:

Area map  
 Plat

Meeting Date: 1/12/2016  
 Department: Development  
 Reviewed by: Steve Bowden  
 City Manager Review:

Background/Analysis:

An application has been made, by A.N.A Consultants, for a final plat of Tract 3A4 WA Doty Survey, A 420 to Lot 1, Block 1, Professional Precinct Addition, being .853 acre located at 7040 Precinct Line Road.

This plat is being requested to develop a new professional office building.

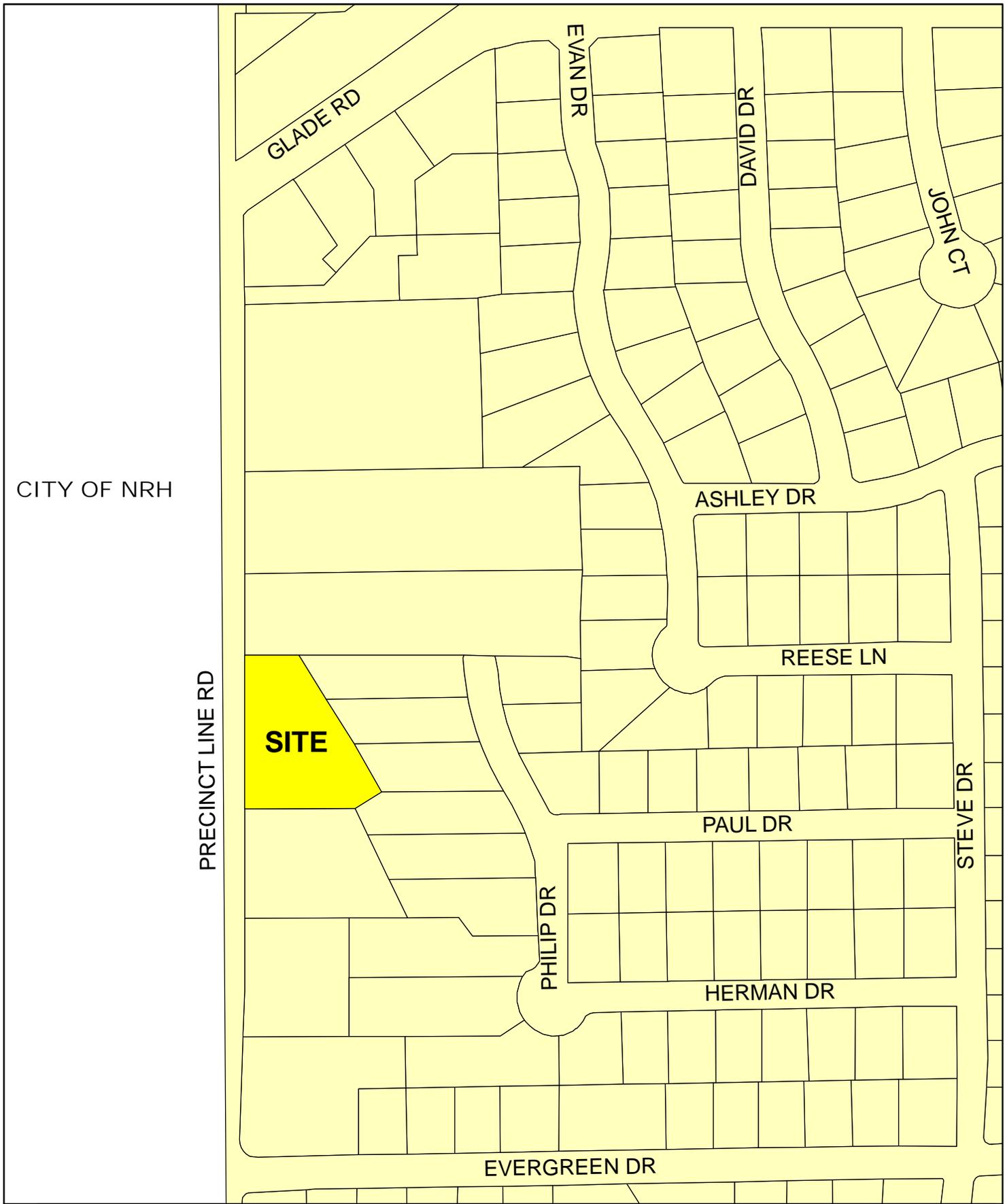
Engineering plans have been reviewed and accepted.

Funding and Sources:

There is no fiscal impact.

Recommendation:

The Planning and Zoning Commission met on Monday, January 4, 2016 and voted 7-0 to recommend approval of P-15-16 Professional Precinct Center Addition.



CITY OF NRH

PRECINCT LINE RD

**SITE**

GLADE RD

EVAN DR

DAVID DR

JOHN CT

ASHLEY DR

REESE LN

PAUL DR

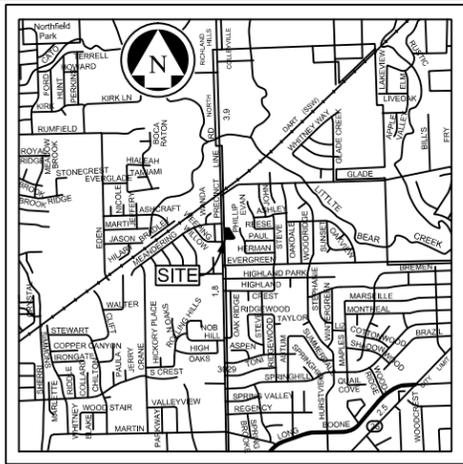
STEVE DR

PHILIP DR

HERMAN DR

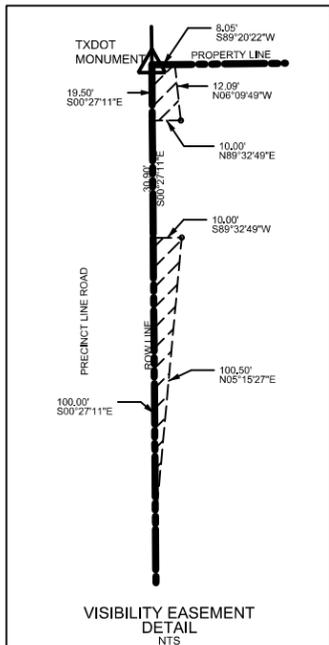
EVERGREEN DR

<p>CASE NO: P-15-16 Professional Precinct Office</p>	<p>LEGAL DESCRIPTION: Tract 3A4 WA Doty Survey, Abstract 420</p>	<p>AGENDA DATE: 1/12/16</p>
<p>REQUESTED ACTION: Final Plat</p>	<p>LOCATION: 7040 Precinct Line Road</p>	



VICINITY MAP  
NOT TO SCALE

NAD 83 - TEXAS COORDINATE SYSTEM  
N - 7004728.55 US SURVEY FEET  
E - 2371928.69 US SURVEY FEET



VISIBILITY EASEMENT  
DETAIL  
NTS

**SURVEYOR'S CERTIFICATE**

STATE OF TEXAS  
COUNTY OF TARRANT

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT I, **Edward Khalil**, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual and accurate survey of the land made on the ground and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the City of Hurst, Texas.

Edward Khalil  
Registered Professional Land Surveyor  
No. 5951



STATE OF TEXAS  
COUNTY OF TARRANT

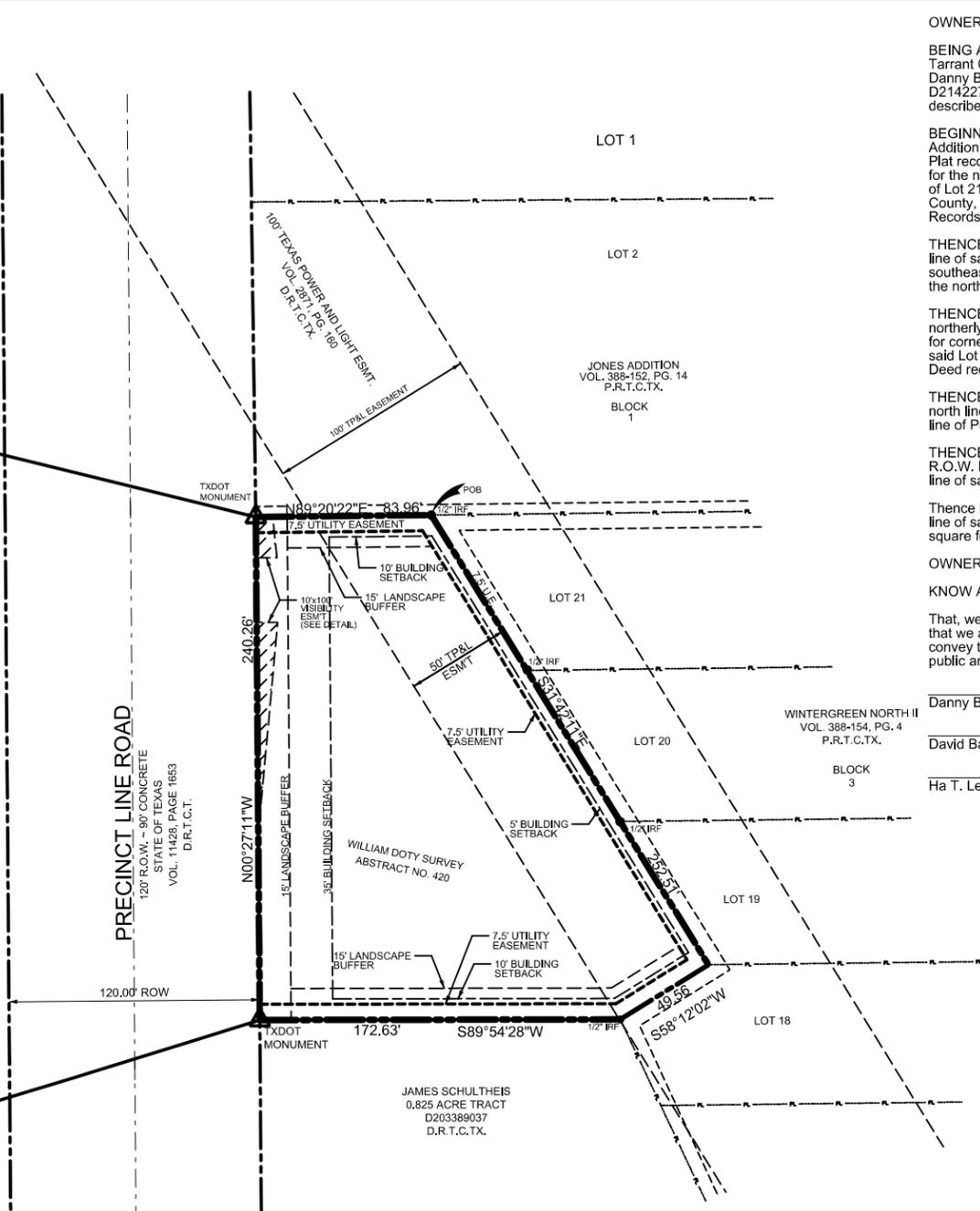
BEFORE ME, the undersigned authority, a Notary Public in and for said county and state, on this day personally appeared **Edward Khalil** known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration thereof expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015

NOTARY PUBLIC in and for the STATE OF TEXAS

NOTICE:  
SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING CERTIFICATES.

NAD 83 - TEXAS COORDINATE SYSTEM  
N - 7004488.30 US SURVEY FEET  
E - 2371930.59 US SURVEY FEET



PRECINCT LINE ROAD  
120' R.O.W. - 90' CONCRETE  
STATE OF TEXAS  
VOL. 11428, PAGE 1663  
D.R.T.C.T.

JAMES SCHULTHEIS  
0.825 ACRE TRACT  
D203389037  
D.R.T.C.T.X.

**LEGEND**

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF WAY LINE
- EXISTING OVERHEAD UTILITY LINE
- EXISTING FENCE LINE
- PROPOSED PROPERTY LINE
- EXISTING POWER POLE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING PROPERTY MONUMENT
- EXISTING TXDOT MONUMENT

Whereas the Planning and Zoning commission of the City of Hurst, Texas voted affirmatively on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, to recommend approval of this Plat by the City Council.

Chairman, Planning and Zoning Commission \_\_\_\_\_

Attest: Secretary, Planning and Zoning Commission \_\_\_\_\_

Whereas the City Council of the City of Hurst, Texas voted affirmatively on this \_\_\_\_\_ day \_\_\_\_\_, 20\_\_\_\_, to approve this Plat for filing of record.

Mayor, City of Hurst \_\_\_\_\_

Attest: City Secretary \_\_\_\_\_

**OWNER**  
DANNY BA NGUYEN  
DAVID BA NGUYEN  
HA T. LE

401 EVENTIDE WAY  
COLLEYVILLE, TX. 76034  
TEL 817 368 9504

**DEVELOPER**  
PROTOTYPE CONSTRUCTION

MARK MEKHAEL  
500 BRIDLEWOOD NORTH  
COLLEYVILLE, TX. 76034  
TEL 817 681 6020

**ENGINEER / SURVEYOR**  
A.N.A. CONSULTANTS, L.L.C.  
5000 THOMPSON ROAD  
COLLEYVILLE, TEXAS 76034  
TEL. (817) 335-9900  
FAX (817) 335-9955  
F.R.N. 1009080  
NAME: MARK ASSAAD

**OWNER'S CERTIFICATE**

BEING A 0.853 acre tract of land out of the William Doty Survey, Abstract no. 420, Tarrant County, Texas, and being the same tract of land as described in deed to Danny Ba Nguyen, David Ba Nguyen, and Ha T. Le recorded in instrument number D214227270, Deed Records, Tarrant County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2" iron pin found in the south line of Lot 2, Block 1, Jones Addition, an Addition to the City of Hurst, Tarrant County, Texas, according to the Plat recorded in Volume 388-152, Page 14, Plat Records, Tarrant County, Texas, for the northeast corner of the tract being described, and being the northwest corner of Lot 21, Block 3, Wintergreen North II, an Addition to the City of Hurst, Tarrant County, Texas, according to the Plat recorded in Volume 388-154, Page 4, Plat Records, Tarrant County, Texas;

THENCE South 31 degrees 42 minutes 11 seconds East, 252.51 feet with the west line of said Block 3, Wintergreen North II to a 5/8 inch capped iron pin set for the southeast corner of tract being described, and the southwest corner of Lot 19 and the northwest corner of Lot 18, of said Block 3, Wintergreen North II;

THENCE South 58 degrees 12 minutes 02 seconds West, 49.56 feet with the northerly line of said Lot 18, Block 3, Wintergreen North II to a 1/2" iron pin found for corner of tract being described, and being the most westerly northwest corner of said Lot 18, and the northeast corner of a 0.825 acre tract of land as described in Deed recorded in Instrument Number D203389037, of said Deed Records;

THENCE South 89 degrees 54 minutes 28 seconds West, 172.63 feet with the north line of said 0.825 acre tract to a highway monument found in the east R.O.W. line of Precinct Line Road for the southwest corner of tract being described;

THENCE North 00 degrees 27 minutes 11 seconds West 240.26 feet with the east R.O.W. line of said Precinct Line Road to a highway monument found in the south line of said Lot 2, Jones Addition for the northwest corner of tract being described;

Thence North 89 degrees 20 minutes 22 seconds East 83.96 feet with the south line of said Lot 2, Jones Addition to the point of beginning and containing 37,154 square foot or 0.853 of an acre of land, more or less.

**OWNER'S DEDICATION**

KNOW ALL MEN BY THESE PRESENTS:

That, we, (Danny Ba Nguyen, David Ba Nguyen, and Ha T. Le) do hereby certify that we are the legal owners of the above described tract of land and so hereby convey to the public for public use; the streets, alleys, rights-of-way and any other public areas shown on this plat.

Danny Ba Nguyen \_\_\_\_\_

David Ba Nguyen \_\_\_\_\_

Ha T. Le \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF TARRANT §

Before me, the undersigned Notary Public in and for said county and state on this day personally appeared **Danny Ba Nguyen**, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and considerations therein expressed, and in the capacity therein stated.

Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public in and for Tarrant County

My Printed Name \_\_\_\_\_

My commission expires: \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF TARRANT §

Before me, the undersigned Notary Public in and for said county and state on this day personally appeared **David Ba Nguyen**, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and considerations therein expressed, and in the capacity therein stated.

Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public in and for Tarrant County

My Printed Name \_\_\_\_\_

My commission expires: \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF TARRANT §

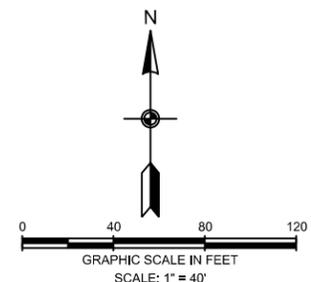
Before me, the undersigned Notary Public in and for said county and state on this day personally appeared **Ha T. Le**, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and considerations therein expressed, and in the capacity therein stated.

Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public in and for Tarrant County

My Printed Name \_\_\_\_\_

My commission expires: \_\_\_\_\_



**FINAL PLAT**  
PROFESSIONAL PRECINCT CENTER  
LOT 1/ BLOCK 1  
AN ADDITION TO THE CITY OF HURST,  
TARRANT COUNTY, TEXAS,  
BEING 0.853 ACRE IN THE  
W.A. DOTY SURVEY  
ABSTRACT NO. 420

CONTAINING 1 LOT

PREPARED AUGUST, 2015

THIS PLAT FILED AS DOCUMENT NO. \_\_\_\_\_ DATE \_\_\_\_\_

**A.N.A. CONSULTANTS, L.L.C.**  
ENGINEERS and SURVEYORS  
Thompson Terrace, Colleyville, TX 76034  
Tel. 817. 335.9900 Fax: 817. 335.9955  
TBPE Firm No.: 20  
TBPLS Firm No.: 10090800

NO.	REVISION DESCRIPTIONS	DATE
1	REVISIONS PER CITY OF HURST PUBLIC WORKS DEPT REVIEW	10/22/2015

DRAWING DATE: 08-24-2015  
DRAWN BY: JW  
CHECKED BY: EK  
SUBMITTAL NO.: 1

**FINAL PLAT**  
**PROFESSIONAL PRECINCT CENTER**  
7040 PRECINCT LINE ROAD

A.N.A. PROJECT NO.:	15-0130
CASE NO.:	P15-06
SHEET NO.:	P-01

City Council Staff Report

SUBJECT: P-15-18 Melbourne Place Addition, a final plat of Lots 1-9, Block 1, Lots 1-6, Block 2, and Lots 1-3, Block 3, Melbourne Place Addition, being 7.42 acres located at 100 Melbourne Road

Supporting Documents:

Area map  
 Plat

Meeting Date: 1/12/2016  
 Department: Development  
 Reviewed by: Steve Bowden  
 City Manager Review:

Background/Analysis:

An application has been made by Ernest Hedgecoth Engineers for a final plat of Lots 1-9, Block 1, Lots 1-6, Block 2, and Lots 1-3, Block 3, Melbourne Place Addition, being 7.42 acres located at 100 Melbourne Road.

This plat is being requested to develop a new single-family subdivision with 18 lots. The proposed subdivision will have one access point to Melbourne Road. Lots 5-9, Block 1, will have a large rear yard, but will not be allowed to place a fence or any structures to the east of the 20 foot Trinity River Authority pipeline. They will be required to maintain the rear yard past their fence.

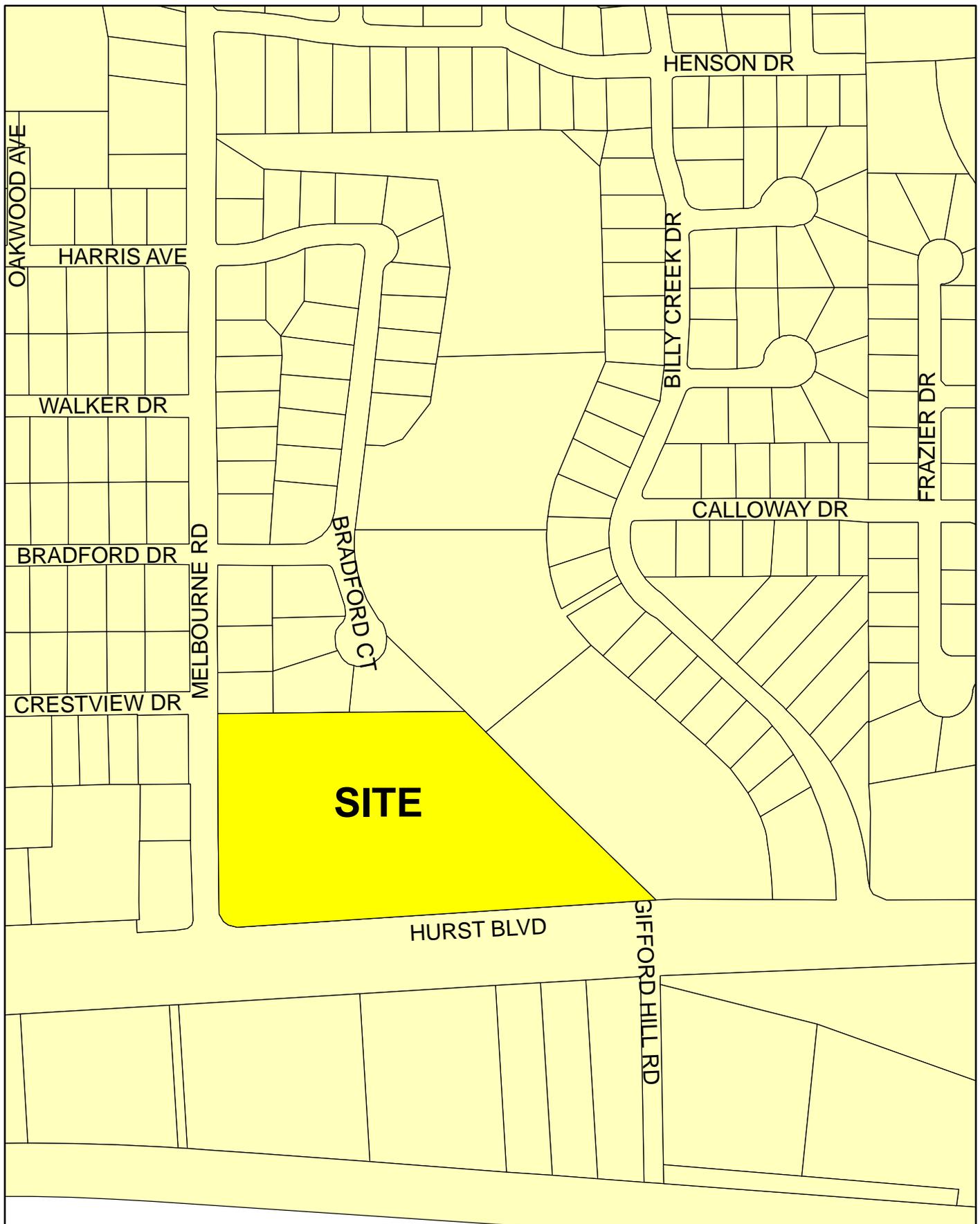
Engineering plans have been reviewed and accepted.

Funding and Sources:

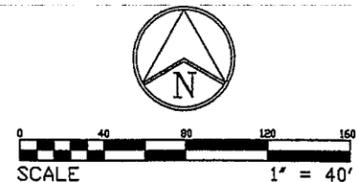
There is no fiscal impact.

Recommendation:

The Planning and Zoning Commission met on Monday, January 4, 2016, and voted 7-0 to recommend approval of P-15-18 Melbourne Place Addition.



<p><b>CASE NO:</b> P-15-18 Melbourne Place</p>	<p><b>LEGAL DESCRIPTION:</b> Lot A, Block 9 Billy Creek Estates</p>	<p><b>AGENDA DATE:</b> 1/12/16</p>
<p><b>REQUESTED ACTION:</b> Final plat for Lots 1-9, Block 1, 1-6, Block 2 and 1-3, Block 3</p>	<p><b>LOCATION:</b> 100 Melbourne Dr.</p>	



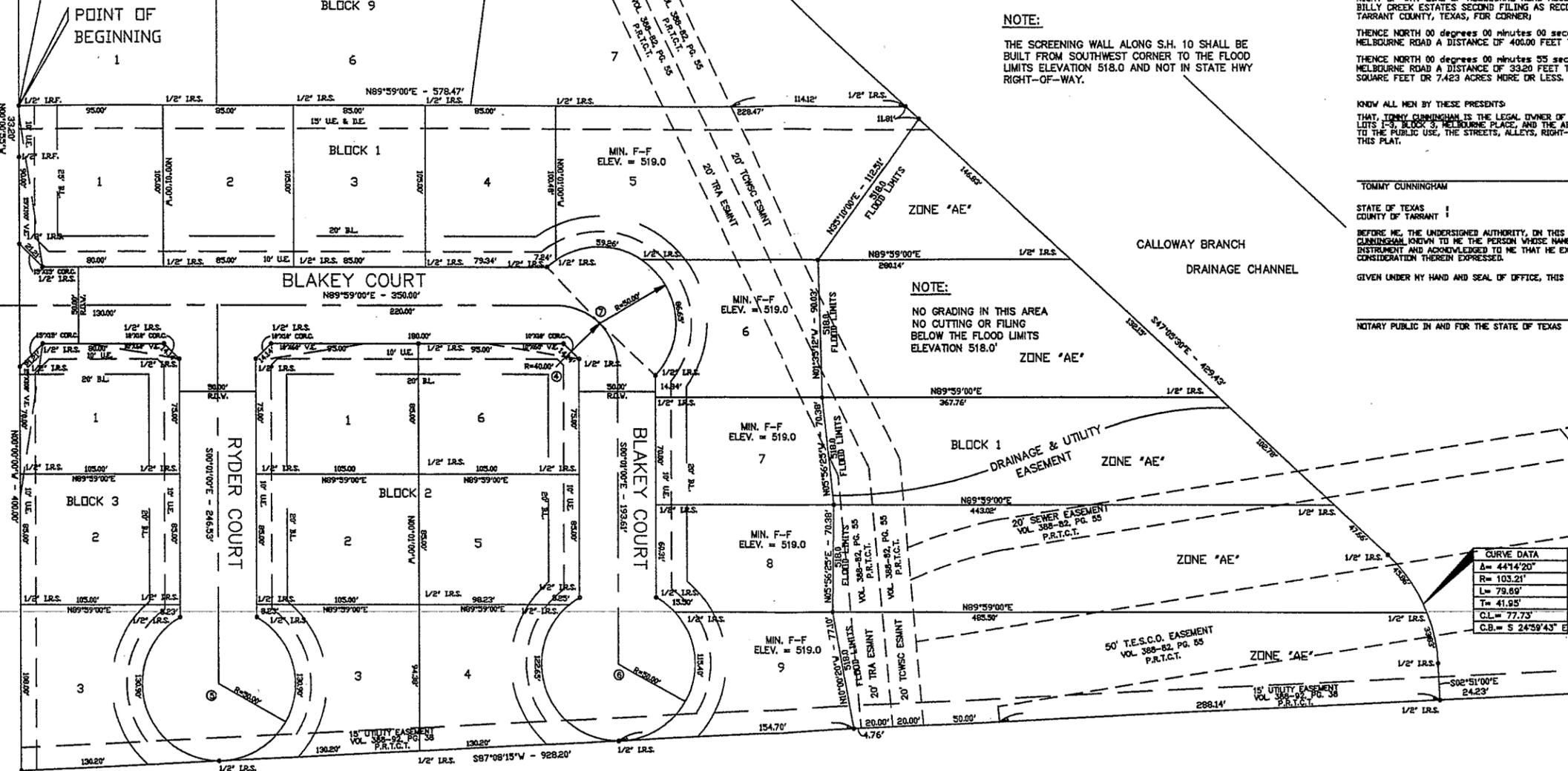
STATE PLANE  
 CITY OF HURST BENCHMARK #503 LOCATED AT  
 BEDFORD EULESS ROAD AT ADDRESS 941,  
 NORTH 6,988,550.68, EAST 2,369,542.58,  
 ELEVATION 598.47 GPS MONUMENT/SW.

NAD 83, STATE PLANE 4202 ZONE  
 N-6,980,265.30  
 E-2,368,446.80

BILLY CREEK ESTATES  
 SECOND FILING  
 VOLUME 388-82, PAGE 55  
 P.R.T.C.T.

CRESTVIEW DRIVE

MELBOURNE ROAD  
 60' ROW

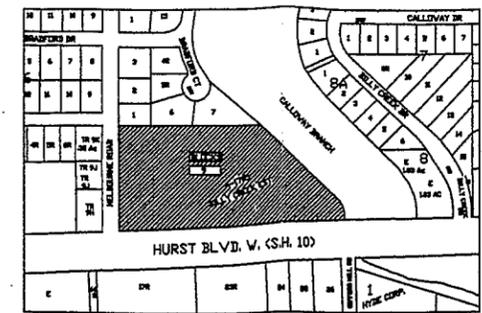


NAD 83, STATE PLANE 4202 ZONE  
 N-6,979,832.00  
 E-2,368,447.00

HURST BOULEVARD W. (S. H. 10)  
 160' ROW

CURVE DATA	CURVE DATA	CURVE DATA	CURVE DATA
④ 40' RADIUS Δ = 90°42'51" R = 40.00' L = 63.33' T = 40.00' C.L. = 56.92' C.B. = S44°39'16"E	⑤ 50' RADIUS Δ = 300°00'00" R = 50.00' L = 261.80'	⑥ 50' RADIUS Δ = 300°00'00" R = 50.00' L = 261.80'	⑦ 50' RADIUS Δ = 175°29'49" R = 50.00' L = 153.15'

- NOTES:
- LOTS 1-5 BLOCK 1 SHALL HAVE SINGLE STORY RESIDENCES & 6' WOODEN FENCE ALONG THE NORTH PROPERTY LINE.
  - THE BUILDING LINE ALONG MELBOURNE ROAD WILL BE 25' FEET FOR LOT 1, BLOCK 1.



**FEMA FLOODPLAIN NOTE:**  
 "NO BUILDINGS, STRUCTURES, PLAYGROUND EQUIPMENT, OR FENCES WILL BE ALLOWED IN THE FLOOD PLAIN, FLOOD WAY, OR DRAINAGE EASEMENT AREA. ROUTINE MAINTENANCE OF THE RESIDENTIAL LOTS THAT BACK UP TO CALLOWAY BRANCH WILL BE THE PROPERTY OWNERS RESPONSIBILITY. THIS WILL INCLUDE MOWING, LANDSCAPING, AND EROSION CONTROL WITHIN THEIR PROPERTY LIMITS. PROPERTY OWNERS SHALL KEEP THE UNFENCED AREAS IN THE PROPOSED PUBLIC DRAINAGE AND UTILITY EASEMENT ON THEIR PROPERTY MOWED, CLEAN, AND FREE OF DEBRIS, SILT, OR OTHER SUBSTANCES WHICH WOULD RESULT IN UNSANITARY CONDITIONS."

**FLOOD CERTIFICATION**  
 A PORTION OF LOTS 5-9, BLOCK 1, ARE LOCATED IN ZONE "AE" & REMAINING PORTION OF SAID LOTS ARE LOCATED IN ZONE "X" ACCORDING TO THE FEDERALLY DESIGNATED 100 YEAR FLOOD PANEL NO. 48439C0215K DATE 09/25/2009.

**NOTE:**  
 THE SCREENING WALL ALONG S.H. 10 SHALL BE BUILT FROM SOUTHWEST CORNER TO THE FLOOD LIMITS ELEVATION 518.0 AND NOT IN STATE HWY RIGHT-OF-WAY.

**NOTE:**  
 NO GRADING IN THIS AREA  
 NO CUTTING OR FILING  
 BELOW THE FLOOD LIMITS  
 ELEVATION 518.0'  
 ZONE "AE"

**OWNER'S ACKNOWLEDGMENT AND DEDICATION**

STATE OF TEXAS  
 COUNTY OF TARRANT

WHEREAS TOMMY CUNNINGHAM IS THE OWNER OF A 7.423 ACRE TRACT OF LAND OUT OF THE W. V. WALLACE SURVEY, ABSTRACT NO. 1705, SITUATED IN HURST, TARRANT COUNTY, TEXAS, BEING PLATTED AS BILLY CREEK ESTATES, SECOND FILING, RECORDED IN VOLUME 388-82, PAGE 38, PLAT RECORDS, TARRANT COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 1, BLOCK 9, BILLY CREEK ESTATES SECOND FILING, THENCE NORTH 89 degrees 59 minutes 00 seconds EAST, ALONG THE SOUTH LINE OF SAID ADDITION A DISTANCE OF 578.47 FEET TO A 1/2" IRON ROD SET IN THE SOUTHEAST CORNER OF LOT 7, BLOCK 9, BILLY CREEK ESTATES SECOND FILING FOR CORNER;

THENCE SOUTH 47 degrees 05 minutes 30 seconds EAST, ALONG THE WEST LINE OF CALLOWAY BRANCH DRAINAGE CHANNEL AND THE EAST LINE OF TRACT A, BLOCK 9, BILLY CREEK ESTATES SECOND FILING A DISTANCE OF 429.43 FEET TO A 1/2" IRON ROD FOR CORNER AND BEING A CURVE TO THE RIGHT);

THENCE ALONG THE CURVE OF SAID CHANNEL HAVING A RADIUS OF 103.21 FEET, A CENTRAL ANGLE OF 44°14'20", A LENGTH OF 79.69 FEET, CH BEARING OF S 24°59'43" E TO A 1/2" IRON ROD FOR CORNER;

THENCE SOUTH 02 degrees 51 minutes 00 seconds EAST, ALONG THE WEST LINE OF CALLOWAY BRANCH DRAINAGE CHANNEL AND THE EAST LINE OF TRACT A, BLOCK 9, BILLY CREEK ESTATES SECOND FILING A DISTANCE OF 24.23 FEET TO A 1/2" IRON ROD SET IN THE NORTH RIGHT-OF-WAY LINE OF HURST BLVD. W (S.H. 10) FOR CORNER;

THENCE SOUTH 87 degrees 08 minutes 15 seconds WEST ALONG THE NORTH RIGHT-OF-WAY LINE OF HURST BLVD. W (S.H. 10) A DISTANCE OF 928.20 FEET TO A 3/8" IRON ROD FOUND IN THE EAST RIGHT-OF-WAY LINE OF MELBOURNE ROAD ALSO BEING THE SOUTHWEST CORNER OF TRACT A, BLOCK 9, BILLY CREEK ESTATES SECOND FILING AS RECORDED IN VOLUME 388-82, PAGE 39, PLAT RECORDS, TARRANT COUNTY, TEXAS, FOR CORNER;

THENCE NORTH 00 degrees 00 minutes 00 seconds WEST ALONG THE EAST RIGHT-OF-WAY LINE OF MELBOURNE ROAD A DISTANCE OF 400.00 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;

THENCE NORTH 00 degrees 00 minutes 55 seconds WEST ALONG THE EAST RIGHT-OF-WAY LINE OF MELBOURNE ROAD A DISTANCE OF 33.20 FEET TO THE POINT OF BEGINNING AND CONTAINING 329,351.82 SQUARE FEET OR 7.423 ACRES MORE OR LESS.

KNOW ALL MEN BY THESE PRESENTS  
 THAT, TOMMY CUNNINGHAM IS THE LEGAL OWNER OF LOTS 1-9, BLOCK 1, LOTS 1-6, BLOCK 2, AND LOTS 1-3, BLOCK 3, MELBOURNE PLACE, AND THE ABOVE DESCRIBED LOTS I DO CONVEY TO THE PUBLIC USE, THE STREETS, ALLEYS, RIGHT-OF-WAY, AND OTHER PUBLIC AREAS SHOWN ON THIS PLAT.

TOMMY CUNNINGHAM \_\_\_\_\_ DATE \_\_\_\_\_  
 COUNTY OF TARRANT

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED TOMMY CUNNINGHAM KNOWN TO ME THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE AND FURNISHING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS  
 COUNTY OF TARRANT

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED TOMMY CUNNINGHAM KNOWN TO ME THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE AND FURNISHING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

**FINAL PLAT**  
**MELBOURNE PLACE**  
 LOTS 1-9, BLOCK 1  
 LOTS 1-6, BLOCK 2  
 LOTS 1-3, BLOCK 3  
 AN ADDITION TO THE  
**CITY OF HURST**  
**TARRANT COUNTY, TEXAS**

BEING A REPLAT OF BILLY CREEK ESTATES, SECOND FILING, AS RECORDED IN VOLUME 388-82, PAGE 38, PLAT RECORDS OF TARRANT COUNTY, TEXAS 7.423 ACRES OF LAND

ZONED GB-PD  
 ZONING REQUESTED R1-PD

**ERNEST HEDGCOTH**  
**CONSULTING ENGINEERS, INC.**  
 FIRM NO. 628  
 5701-C MIDWAY ROAD  
 FORT WORTH, TEXAS 76117  
 (817) 851-7711  
**SHEET 2 OF 10**

**CERTIFICATE OF APPROVAL**

APPROVED on this the \_\_\_\_\_ day of \_\_\_\_\_, 2015, by the Planning & Zoning Commission, City of Hurst, Texas.

Chairperson Planning & Zoning Commission

APPROVED on this the \_\_\_\_\_ day of \_\_\_\_\_, 2015, by the City Council, City of Hurst, Texas.

Mayor \_\_\_\_\_  
 ATTEST: \_\_\_\_\_  
 City Secretary

KNOW ALL MEN BY THESE PRESENTS:

That I, ERNEST HEDGCOTH, R.P.L.S., a Registered Professional Land Surveyor in the State of Texas, do hereby certify that this Plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground.

ERNEST HEDGCOTH, P.E.  
 REGISTERED PROFESSIONAL LAND SURVEYOR 2804  
 FIRM NO. 10011200

09/04/2015  
 DATE

THIS PLAT FILED BY INSTRUMENT NO. \_\_\_\_\_, DATE: \_\_\_\_\_

PROJECT NO. 2015-021

City Council Staff Report

SUBJECT: Consider approval of Ordinance 2309 concerning designation of a proposed school speed limit zone on Pipeline Road for the Harrison Lane intersection

Supporting Documents:	
Ordinance 2309 Location Map	Meeting Date: 1/12/2016 Department: Public Works Reviewed by: Gregory Dickens City Manager Review:

**Background/Analysis:**

Normally, school zones for reduced speed limits are called for near schools when there are not sufficient gaps in traffic flow to allow for pedestrians to cross safely at designated crosswalks. Stop signs and traffic signals usually give pedestrians the ability to cross streets safely due to traffic flow having to stop. On Pipeline Road at Harrison Lane, the traffic signal has pedestrian signals with push button actuators. Also, a crossing guard is present to assist in helping the school children cross safely.

Pedestrian counts were taken during the peak hours in the morning and after school on October 26-29, 2015. In the morning, the count ranged from 10 to 12 pedestrians. In the afternoon, the range was 28 to 34 pedestrians.

The Traffic Safety Commission reviewed this item at the November 23, 2015 regular meeting and decided to recommend, to Council, a school speed limit zone be installed on Pipeline Road for the Harrison Lane crossing. This provides for slowing the traffic approximately 420 feet before and after the crossing at the intersection. The cost for the proposed school zone will be approximately \$13,000. This includes the cost for two solar powered school zone flashing signals, three school zone signs with poles, and two end of school zone signs with speed limit signs and poles.

**Funding and Sources:**

Funds in the amount of \$13,000 are available in Miscellaneous Street Bond Funds.

Recommendation:

Staff recommends the City Council approve Ordinance 2309, first reading, concerning designation of a proposed school speed limit zone on Pipeline Road for the Harrison Lane intersection.

## ORDINANCE 2309

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF HURST, TEXAS, CONCERNING CREATING A SCHOOL SPEED LIMIT ZONE ON PIPELINE ROAD FOR THE HARRISON LANE INTERSECTION; PROVIDING A SAVING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY; AND ESTABLISHING AN EFFECTIVE DATE

WHEREAS, it has been determined by the City Council of the City of Hurst, Texas that it is in the best interest of the health, safety and general welfare of the citizens of the City of Hurst to create the reduced speed school zone on Pipeline Road to cover the Harrison Lane intersection; and,

WHEREAS, Chapter 545, Paragraph 545.356, of the Texas Transportation Code, provides that whenever the governing body of a City may, pursuant to the provisions of said code, determine and declare a reasonable and safe prima facie speed limit on said street or streets by the passage of an ordinance, which shall be effective when appropriate signs giving notice thereof are erected at such intersection or other place or part of the street or highway.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HURST, TEXAS:

Section 1. THAT, the above findings are hereby found to be true and correct and are incorporated herein in their entirety.

Section 2 THAT, the City of Hurst Code of Ordinances is hereby amended, by adding the following:

“A school zone with a reduced speed limit of 20 miles per hour on Pipeline Road will be created from 420 feet east of the centerline of the four-way intersection of Harrison Lane to 420 feet west of the centerline of the intersection of Harrison Lane. The reduced speed of 20 miles per hour will be in effect from 7:15 a.m. to 8:30 a.m. and from 2:30 p.m. to 4:00 p.m. on school days.”

Section 3. THAT, all provisions of the ordinances of the City of Hurst in conflict with the provisions of this ordinance are, and the same are hereby, repealed, and all other provisions of the ordinances

of the City of Hurst not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 4. THAT, should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole, or any part of provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Code of Ordinances as a whole.

Section 5. THAT, any person, firm, or corporation violating any provision of this ordinance shall be fined an amount in accordance with Chapter 1, Section 1.5 of the Hurst Code of Ordinances.

Section 6. THAT, this Ordinance shall take effect immediately from and after its passage.

AND IT IS SO ORDERED.

Passed on the first reading on the 12<sup>th</sup> day of January 2016 by a vote of \_\_\_\_ to \_\_\_\_.

Approved on the second reading on the 26<sup>th</sup> day of January 2016 by a vote of \_\_\_\_ to \_\_\_\_.

ATTEST:

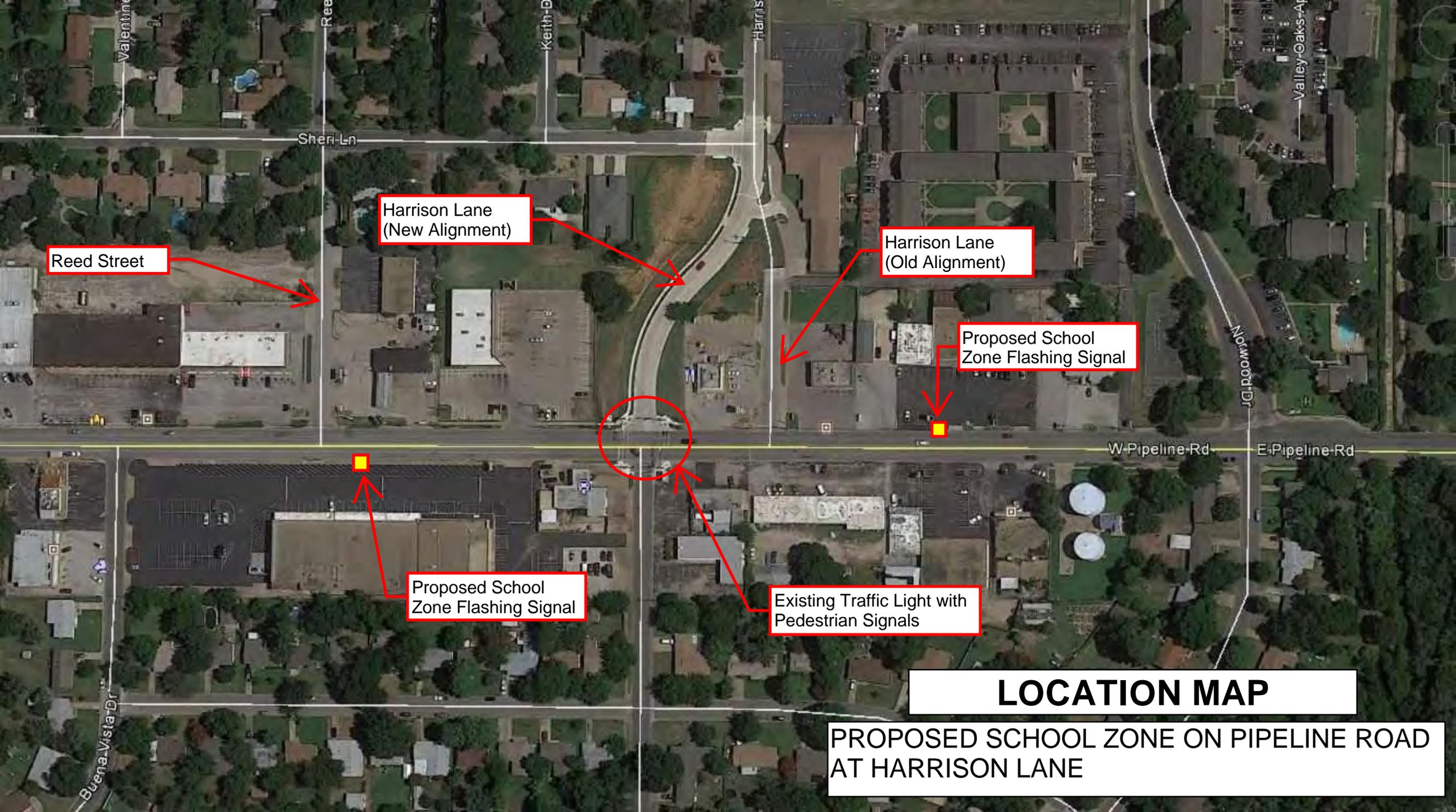
CITY OF HURST

\_\_\_\_\_  
Rita Frick, City Secretary

\_\_\_\_\_  
Richard Ward, Mayor

Approved as to form and legality:

\_\_\_\_\_  
City Attorney



Reed Street

Harrison Lane  
(New Alignment)

Harrison Lane  
(Old Alignment)

Proposed School  
Zone Flashing Signal

Proposed School  
Zone Flashing Signal

Existing Traffic Light with  
Pedestrian Signals

# LOCATION MAP

PROPOSED SCHOOL ZONE ON PIPELINE ROAD  
AT HARRISON LANE

City Council Staff Report

SUBJECT: Consider Resolution 1634 authorizing the Hurst Police Department to participate in the Tarrant County Combined Narcotics Enforcement Team (CNET)

Supporting Documents:

Resolution 1634

Tarrant County Combined Narcotics Enforcement Team (CNET) Interlocal Assistance Agreement

Meeting Date: 1/12/2016

Department: Police

Reviewed by: Steve Moore

City Manager Review:

Background/Analysis:

For the past twenty-five (25) years, the Hurst Police Department along with other law enforcement agencies in Tarrant County have engaged in a cooperative arrangement for the detection, apprehension, and prosecution of individuals who engage in certain illegal activities. The current participants of this organized effort have requested that this endeavor continue, under the auspices of the Tarrant County Sheriff's Office, in a manner set forth in the Tarrant County Combined Narcotics Enforcement Team Interlocal Assistance Agreement. The Tarrant County Commissioners Court approved this agreement on December 8, 2015.

Funding and Sources:

Funding of personnel, assigned to this team, is provided in the police department's general and crime control budgets.

Recommendation:

Staff recommends City Council approve Resolution 1634, authorizing the city manager to sign the Memorandum of Agreement, with Tarrant County, which authorizes the Hurst Police Department to participate in the Tarrant County Combined Narcotics Enforcement Team.

## RESOLUTION 1634

A RESOLUTION AUTHORIZING THE MAYOR TO EXECUTE A MEMORANDUM OF AGREEMENT BETWEEN THE CITY OF HURST AND TARRANT COUNTY, OUTLINING THE FOUNDATION FOR THE TARRANT COUNTY COMBINED NARCOTICS ENFORCEMENT TEAM (CNET)

WHEREAS, the sale and distribution of illegal drugs, and the violence that often accompanies such illegal enterprises, is an important health and safety concern to Tarrant County and its citizens; and,

WHEREAS, those that engage in such illegal enterprise do so without regard to governmental jurisdictions or boundaries; and,

WHEREAS, the detection, apprehension, and prosecution, of individuals who engage in such illegal activities, is often hindered because the area in which the criminal offender operates is often greater than the jurisdiction of the individual peace officers called upon to investigate such crimes; and,

WHEREAS, past experience has indicated that a cooperative effort between law enforcement agencies and Tarrant County has been effective in detecting and deterring the activities of targeted criminal groups to the mutual benefit of all neighboring municipalities and contiguous counties; and,

WHEREAS, for these purposes, under the auspices of the Tarrant County Criminal District Attorneys' Office, certain municipal law enforcement agencies have engaged in such a cooperative arrangement for over twenty five years; and,

WHEREAS, the current participants of this organized effort, including the Tarrant County Criminal District Attorney, desire that this endeavor continue under the auspices of the Tarrant County Sheriff's Office in a manner set forth herein; and,

WHEREAS, pursuant to Chapter 362 Texas Local Government Code, Chapter 791 of the Texas Government Code, and other relevant laws of the State of Texas, the principal entities to-wit: Tarrant County, Texas, the Tarrant County Criminal District Attorney, and the Tarrant County Sheriff; did establish through an Interlocal Assistance Agreement, executed on

December 8, 2015, a multi-jurisdictional investigative and enforcement effort, which is known as the Tarrant County Combined Narcotics Enforcement Team (CNET); and

WHEREAS, the City of Hurst has been extended an invitation to participate in the Tarrant County Combined Narcotics Enforcement Team (CNET), subject to the terms and conditions of that agreement, which is hereunto attached for all purposes.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HURST, TEXAS:

Section 1. THAT the City Council of the City of Hurst agree to participate in the Tarrant County Combined Narcotics Enforcement Team (CNET) subject to the terms and conditions specified in the above reference Interlocal Assistance Agreement.

AND IT IS SO RESOLVED.

Approved this the \_\_\_\_\_day of January 2016 by a vote of \_\_\_\_\_ to \_\_\_\_\_.

ATTEST:

CITY OF HURST

\_\_\_\_\_  
Rita Frick, City Secretary

\_\_\_\_\_  
Richard Ward, Mayor

Approved as to form and legality:

\_\_\_\_\_  
City Attorney

THE STATE OF TEXAS  
COUNTY OF TARRANT

§  
§  
§

THIS ORIGINAL  
EXECUTED BY TARRANT COUNTY

**THE TARRANT COUNTY COMBINED NARCOTICS ENFORCEMENT TEAM  
INTERLOCAL ASSISTANCE AGREEMENT**

**WHEREAS** the sale and distribution of illegal drugs, and the violence that often accompanies such illegal enterprises, is an important health and safety concern to Tarrant County and its citizens; and,

**WHEREAS** those that engage in such illegal enterprise do so without regard to governmental jurisdictions or boundaries; and,

**WHEREAS** the detection, apprehension, and prosecution of individuals who engage in such illegal activities is often hindered because the area in which the criminal offender operates is often greater than the jurisdiction of the individual peace officers called upon to investigate such crimes; and,

**WHEREAS** past experience has indicated that a cooperative effort between law enforcement agencies and Tarrant County has been effective in detecting and deterring the activities of targeted criminal groups to the mutual benefit of all neighboring municipalities and contiguous counties; and,

**WHEREAS** for these purposes, under the auspices of the Tarrant County Criminal District Attorneys' Office, certain municipal law enforcement agencies have engaged in such a cooperative arrangement for over twenty five years; and,

**WHEREAS** the current participants of this organized effort, including the Tarrant County Criminal District Attorney, desire that this endeavor continue under the auspices of the Tarrant County Sheriff's Office in a manner set forth herein; and,

**WHEREAS** pursuant to Chapter 362 Texas Local Government Code, Chapter 791 of the Texas Government Code, and other relevant laws of the State of Texas, the principal entities to-wit: Tarrant County, Texas, the Tarrant County Criminal District

Attorney, and the Tarrant County Sheriff, hereby agree to participate in, and be a part of cooperative multi-jurisdictional investigative and enforcement effort, which is herein known and designated as the Tarrant County Combined Narcotics Enforcement Team (CNET).

**NOW, THEREFORE, BE IT KNOWN BY THESE PRESENTS:**

That Tarrant County, Texas, acting by and through its duly authorized County Judge, the Criminal District Attorney of Tarrant County, the Sheriff of Tarrant County, and the agencies that have executed, are executing, or will execute substantially similar copies hereof at this time or in the future during the time that this agreement is in force, acting herein by and through their duly authorized chief administrative officer, do hereby covenant and agree as follows:

**COMBINED NARCOTICS ENFORCEMENT TEAM**

The Tarrant County Combined Narcotics Enforcement Team (hereinafter referred to as "Team") will be a part of the Tarrant County Sheriff's Office, for administrative purposes. The activities of the Combined Narcotics Enforcement Team shall be supervised by a Board of Governors, consistent with this agreement and the terms of all governing statutes and agreements. This Board will include as permanent voting members a member of the Tarrant County Commissioners Court or its designee, the Tarrant County Criminal District Attorney, and a Chairperson, who shall be the Tarrant County Sheriff. The Tarrant County Commissioners Court hereby designates the County Administrator as its representative to the Board of Governors. Additionally, the Board will consist of the Chief Law Enforcement Officer (CLEO) from every additional agency that participates in the Team by providing personnel. Ex officio members of the Board shall include an appropriate executive level designee from the local offices of the U.S. Drug Enforcement Administration and the Texas Department of Public Safety Criminal Investigations Division. Other ex officio members, if any, may be added by agreement of the voting members. Any and all ex officio members shall be non-voting.

The Board of Governors shall have the responsibility for policy, direction, and control of the Team. The Board of Governors will have direct responsibility for the selection of a Commander for the Team, who shall be an employee of Tarrant County.

The Board will monitor the activities and accomplishments of the Team to ensure orderly progress towards attainment of all stated objectives and shall meet at least annually.

There will be one unit, a Team, which may form sub-groups, or sectors, as appropriate. The activities and investigations of these sub-groups, or sectors, may be led by a Team member holding supervisory rank at the direction of the Commander of the Team. These sub-groups, teams, or sectors, will have the duties assigned to them by the Team supervisor at the approval of the Commander.

### **INVESTIGATIONS AND ENFORCEMENT ACTIVITIES**

The investigation of offenses concerning illegal or controlled substances and dangerous drugs may be coordinated through the Team. All relevant or related intelligence received by a law enforcement agency that is a party to this agreement may be referred to the Team for investigation. The assigned officers will respond to complaints in a timely manner. The Team will conduct covert operations, training, investigations, arrests, and provide assistance to other agencies in an effort to combat these and related offenses.

### **ASSET SEIZURE**

There is hereby created a certain fund to be known as the Tarrant County Combined Narcotics Enforcement Team Asset Forfeiture Fund (hereinafter called "Fund"), said Fund to be created in compliance with State law. The purpose of the fund shall be to augment Team operations, consistent with applicable state laws. The funds awarded and deposited therein shall be distributed in accordance with this agreement.

Asset seizures developed by the Team in Tarrant County, under Chapter 59, Code of Criminal Procedure, will be prosecuted by the Tarrant County Criminal District Attorney's Office. The decision to try, dismiss or settle asset seizure cases will be made by the Tarrant County Criminal District Attorney; the Team will abide by that decision.

### **FORFEITURE POLICY**

Cash, cash equivalents or any similar instrument, seized for forfeiture shall be placed with the Tarrant County Criminal District Attorney's Office as indicated by

Chapter 59.08, Texas Code of Criminal Procedure until a final award is made.

Upon final disposition, the property awarded to the Tarrant County Criminal District Attorney, as the Attorney Representing the State, will be administered in accordance with chapter 59, Texas Code of Criminal Procedure. If awarded property is sold, it will be sold in any commercially reasonable manner. Any proceeds from the sale of the awarded property will be divided as set out in this agreement.

Upon final disposition of the forfeiture action, and after all costs and fees incurred have been paid from the forfeited monies made the subject of that forfeiture proceeding, including but not limited to outstanding liens on property, maintenance costs, and litigation costs, any and all remaining monies, cash, cash equivalents, interest accrued and all awarded property shall be distributed in accordance with chapter 59, Texas Code of Criminal Procedure and this agreement.

Upon entry of a judgment in a judicial proceeding awarding monies, cash, cash equivalents, other similar instruments or other proceeds to the Tarrant County Combined Narcotics Enforcement Team, all said monies, cash, cash equivalents, other similar instruments or proceeds will be, within a reasonable time, deposited in the Tarrant County Combined Narcotics Enforcement Team Forfeiture Fund. The monies and proceeds in this Fund must be used to further the purpose of the Team or distributed in accordance with Chapter 59, Texas Code of Criminal Procedure and the terms of this agreement.

All forfeiture funds and any other generated program income shall be subject to audit by the Tarrant County Auditor and the Texas Office of the Attorney General.

Any awarded property other than money seized by a Team officer that is the subject of a final forfeiture judgment shall be forfeited to the state and transferred to the Team to be used to further the purpose of the Team. Awarded personal property may be sold at auction, or any other commercially reasonable manner in accordance with law and Tarrant County policy, and the proceeds deposited in the Fund or distributed in accordance with Chapter 59, Texas Code of Criminal Procedure and the terms of this agreement.

## **DIVISION OF AWARDED PROPERTY**

Property other than money, seized by officers assigned to the Team which is forfeited and awarded to the State will be transferred to the Team and thereafter, will be governed by this agreement and Chapter 59, Texas Code of Criminal Procedure.

Monies shall be divided in the following manner:

1. 40% to be deposited in a special fund in the county treasury for the benefit of the office of the Criminal District Attorney, Tarrant County;
2. 20% to be deposited in a special fund in the county treasury to be used for the official purposes of the Tarrant County Sheriff's Office;
3. 40% will be awarded to the remaining participating law enforcement agencies, and deposited in the Fund. Any further distribution and accounting will be the responsibility of the Team. Distributions from the Fund will be disbursed periodically to the participating agencies in a manner proportional with each agency's number of assigned officers.

In the event the Team is dissolved all remaining forfeited assets seized under Chapter 59, Code of Criminal Procedure shall be transferred to the Tarrant County Criminal District Attorney for disposal in accordance with law. All participating agencies agree that equipment purchased with funds made available for the specific use of the Team shall be under the care, custody, and control of the Team. If and when this agreement is terminated, equipment may be subject to equitable sharing of the participating agencies upon written request and subsequent approval of the Board of Governors in a manner proscribed by law; provided however, the requirements of a superseding agreement or contract concerning the disposal of equipment or monies shall be honored.

## **STATUS OF PEACE OFFICERS**

Any peace officer assigned to the Team by a government entity which is a party to this agreement shall be empowered to enforce all laws and ordinances applicable in the jurisdiction of the Tarrant County and municipal entities signatory to this agreement,

including the power to make arrests, execute search warrants, and investigate relevant offenses outside of the geographical jurisdiction from which he or she is assigned, but within the area covered by the jurisdictions of the counties and municipal entities which are parties to this agreement.

A peace officer who is assigned, designated, or ordered by the sponsoring agency to perform law enforcement duties as a member of the Team, shall receive the same wage, salary, pension and all other compensation and all other rights for such service, including injury or death benefits and workers' compensation benefits, as though the service had been rendered within the limits of the entity from which he or she was assigned. Recognizing the benefits to a participating entity to this agreement, it is agreed that all wage and disability payments, including workers' compensation benefits, pension payments, damage to equipment and clothing, medical expense and expense of travel, food and lodging shall be paid by that peace officer's sponsoring agency. Individuals assigned to the Team that are not Tarrant County Sheriff's Office employees will not work overtime that is not reimbursable to the individual's home agency, without prior approval from their home agency supervisor. Instead, they will be permitted to flex their work hours as necessary to accomplish Team objectives and assignments.

Except in accordance with the terms of a superseding contract or agreement, each party to this agreement, when providing services of personnel, expressly waives the right to receive reimbursement for services performed or equipment utilized under this agreement even though a request for such reimbursement may be made pursuant to Chapter 362, Texas Government Code.

It is further agreed that, in the event any peace officer assigned to the Team is cited as a party defendant to any civil lawsuit, state or federal, arising out of his or her official acts while functioning as a peace officer assigned to the Team, said peace officer shall be entitled to the same benefits that such officer would be entitled to receive had such civil action arisen out of an official act within the scope of his or her duties as a member and in the jurisdiction of the law enforcement agency from which he or she was assigned. Further, no entity shall be responsible for the acts of a peace officer of another entity assigned to the Team.

## **GENERAL PROVISIONS**

Each party to this agreement expressly waives all claims against every other party for compensation for any loss, damage, personal injury, or death occurring as a consequence of the performance of this agreement.

Third party claims against members shall be governed by the Texas Tort Claims Act or other appropriate statutes and laws of the State of Texas and the United States.

It is expressly understood and agreed that, in the execution of this agreement, no party waives, nor shall be deemed hereby to waive, any immunity or defense that would otherwise be available to it against claims arising in the exercise of governmental powers and functions.

The validity of this agreement and of any of its terms or provisions, as well as the rights and duties of the parties hereunder, shall be governed by the laws of the State of Texas.

Each party to this agreement agrees that if legal action is brought under this agreement, the venue shall lie in Tarrant County. In case any one or more of the provisions contained in this agreement shall for any reason be held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality or unenforceability shall not affect any other provision thereof and this agreement shall be construed as if such invalid, illegal or unenforceable provision had never been contained herein.

This agreement shall become effective as to a party hereto on the day of the execution of the agreement by the party. This agreement may be amended or modified by the mutual agreement of the parties hereto in writing to be attached to and incorporated into this agreement. This instrument contains the complete agreement of the parties hereto and any oral modifications, or written amendments not incorporated to the agreement, shall be of no force or effect to alter any term or condition herein.

To minimize the administrative difficulty of signature between the many parties, each city or other law enforcement entity will sign a substantially similar agreement with Tarrant County; however, each party signing substantially similar copies is immediately bound one to another to all other entities participating during the time said agreement is

in force as to said entity, even though the parties' signatures appear on different copies of the substantially similar copies. Any entity being added after the agreement is in effect need only sign the documents which Tarrant County signs to be fully a party bound to all other parties, and such signature shall, as of the date of the signing, have the same force and effect as between the joining and already-bound members as if a single document was signed simultaneously by all then-participating entities. All parties currently participating in this original agreement, if any, are identified in Exhibit "A".

The Team established by this agreement is subject to the conditions herein contained, and on such conditions lawfully added by amendment or by law, and not for any purpose or period beyond that permitted by such amendment or law.

This instrument contains all commitments and agreements of the parties, and no oral or written commitments have any force or effect to alter any term or condition of this agreement, unless the same are done in proper form and in a manner constituting a bona fide amendment hereto.

The parties agree that their collective agreement may be evidenced by the execution of an identical counterpart of this instrument by the duly authorized official(s) of each participant and the failure of any anticipated member to enter into or renew this agreement shall not affect the agreement between and among the parties executing the agreement.

### **BUDGETARY MATTERS**

Where permissible under this agreement, participating entities entitled to reimbursement must submit requests for reimbursement through the Tarrant County Auditor's Office, 100 E. Weatherford Street, Fort Worth, TX 76196.

### **CONFIDENTIAL FUNDS**

The disbursement and reimbursement of confidential funds using money held in the relevant Tarrant County accounts, will be conducted in accordance with the current Tarrant County Sheriff's Office policy, and attached as Exhibit "B" and "C," concerning the management of confidential informants, to include the purchase of information, and the purchase of evidence.

**TERMINATION**

Any party to this agreement may terminate its participation or rights and obligations as a party by providing (30) days written notice to the Board of Governors of the Tarrant County Combined Narcotics Enforcement Team, 200 Taylor Street, 7<sup>th</sup> Floor, Plaza Building, Fort Worth, Texas 76196. Such termination shall have no effect upon the rights and obligations of the remaining parties under this agreement.

SIGNED ON THE DATES BELOW SHOWN.

WITNESSETH:

**TARRANT COUNTY, TEXAS**

  
\_\_\_\_\_  
**B. GLEN WHITLEY, COUNTY JUDGE**

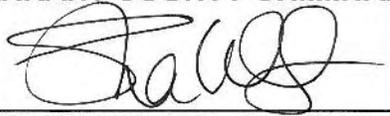
December 8<sup>th</sup> 2015  
DATE

**TARRANT COUNTY SHERIFF**

  
\_\_\_\_\_  
**DEE ANDERSON, SHERIFF**

11/30/15  
DATE

**TARRANT COUNTY CRIMINAL DISTRICT ATTORNEY**

  
\_\_\_\_\_  
**SHAREN WILSON, CRIMINAL DISTRICT ATTORNEY**

11-30-15  
DATE

APPROVED AS TO FORM:

11-30-15

  
Criminal District Attorney's Office\*

\*By law, the Criminal District Attorney's Office may only approve contracts for its clients. We reviewed this document as to form from our client's legal perspective. Other parties may not rely on this approval. Instead those parties should seek contract review from independent counsel.

City Council Staff Report

SUBJECT: Consider Resolution 1635 calling the City of Hurst May 7, 2016 General Election	
Supporting Documents:	
Resolution 1635	Meeting Date: 1/12/2016 Department: City Secretary Reviewed by: Rita Frick City Manager Review:
Background/Analysis:	
<p>This year the uniform election date, which is utilized for the City's General Election of Officers, is May 7, 2016. As part of the election process, the City Council must order the election, and historically, this is done prior to the beginning of the filing period for a place on the ballot.</p> <p>The Main Early Voting location will be the Tarrant County Elections Center located at 2700 Premier Street, Fort Worth, Texas. There will be additional branch early voting locations throughout the County, as finalized in the joint agreement and contract with Tarrant County Elections Administrator.</p> <p>The anticipated branch early voting location within the City of Hurst includes the Hurst Recreation Center, 700 Mary Drive. The County will provide a final listing of all available branch sites at a future date. Hurst residents may vote at any early voting site in Tarrant County during the early voting by personal appearance process.</p> <p>Staff is recommending that the Election Day polling site continue to be at the Hurst Public Library, 901 Precinct Line Road. The proposed Resolution orders the election; authorizes a joint election agreement and contract for election services with the Tarrant County Elections Administrator and establishes a date for a runoff election, if necessary.</p>	
Funding and Sources:	
Funding is provided in the Fiscal Year 2015-2016 budget.	

Recommendation:

Staff recommends that City Council approve Resolution 1635 calling the May 7, 2016 General Election of Officers.

## RESOLUTION 1635

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF HURST, TEXAS, CALLING THE GENERAL ELECTION OF OFFICERS FOR MAY 7, 2016; AUTHORIZING A JOINT ELECTION AGREEMENT AND CONTRACT FOR ELECTION SERVICES WITH THE TARRANT COUNTY ELECTIONS ADMINISTRATOR; AND ESTABLISHING A DATE FOR A RUNOFF ELECTION, IF NECESSARY

WHEREAS, the regular election for the City Council of the City of Hurst as set forth by the Charter and by the Texas Election Code is required to be held on May 7, 2016, at which time the voters will elect persons to fill the offices of City Council Places 3 (Mayor), 4, 5 and 7; and

WHEREAS, the City Council desires to conduct joint elections pursuant to the provisions of the Texas Election Code, and as established in a joint election agreement and contract for election services with the Tarrant County Elections Administrator.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HURST, TEXAS:

Section 1: THAT unless one or more of the entities qualify under provisions of the Texas Election Code to cancel their election, the City of Hurst shall hold a joint election, per the aforesaid joint election agreement and contract for election services, on Saturday, May 7, 2016, for the purpose of electing members of the Hurst City Council.

Section 2: THAT an election is hereby ordered to elect persons to the offices of City Council Places 3 (Mayor), 4, 5 and 7 to serve until May of 2018 or until their successors are duly elected and qualified. Such election shall be held at the Hurst Public Library, 901 Precinct Line Road, Hurst, Texas, on the 7th day of May 2016, from 7:00 a.m. until 7:00 p.m.

Section 3: THAT qualified persons may file as candidates by filing application in the office of the City Secretary, Monday through Friday, 8:00 a.m. until 5:00 p.m. beginning on Wednesday, January 20, 2016, and continuing until 5:00 p.m. on Friday, February 19, 2016. The names of eligible and qualified candidates for such office shall be placed on the ballots for such election by the City Secretary at the time and in the manner prescribed by law, and the charter and ordinances of the City of Hurst.

Section 4: THAT Frank W. Phillips (or his successor), Tarrant County Elections Administrator, 2700 Premier Street, Fort Worth, Texas 76111, is hereby appointed as Early Voting Clerk and may appoint additional deputy early voting clerks as necessary to properly conduct the election. Applications for ballot by mail must be received by mail no later than the close of business on Tuesday, April 26, 2016 (Mailing Address: P.O. Box 961011, Fort Worth, Texas, 76161-0011; Attention: Frank W. Phillips, Early Voting Clerk).

Section 5: THAT early voting by personal appearance shall be conducted at the County's Main Early Voting location: 2700 Premier Street, Fort Worth, Texas 76111, and branch offices for early voting by personal appearance shall also be established as outlined in the election agreement with Tarrant County Elections Administrator.

The anticipated branch early voting location within the City of Hurst includes the Hurst Recreation Center, 700 Mary Drive. Tarrant County Elections Administration will provide a final listing of all available branch sites at a future date, and Hurst residents may vote at any early voting site in Tarrant County during the early voting by personal appearance process.

Early voting by personal appearance will begin on Monday, April 25, 2016, and will end on Tuesday, May 3, 2016, and the hours designated for early voting by personal appearance shall be as set forth below:

April 25 - 29	Monday – Friday	8:00 a.m. – 5:00 p.m.
April 30	Saturday	7:00 a.m. – 7:00 p.m.
May 1	Sunday	11:00 a.m. – 4:00 p.m.
May 2 - 3	Monday – Tuesday	7:00 a.m. – 7:00 p.m.

For purposes of processing ballots cast in early voting, the election officers for the early voting ballot board shall be appointed and designated in accordance with the provisions of the election agreement with the Tarrant County Elections Administrator.

Section 6: THAT all resident qualified electors of the City shall be permitted to vote at said election, and on the day of the election, such electors

shall vote at the polling place designated for the election precinct in which they reside. This election shall be held and conducted in accordance with the aforesaid election agreement, and the election laws of the State of Texas.

Section 7: THAT combined ballots may be utilized containing all of the offices and propositions to be voted on at each polling place, provided that no voter shall be given a ballot or permitted to vote for any office or proposition on which the voter is ineligible to vote. The County's voting equipment will be utilized for this election.

Section 8: THAT the election officers for each polling place shall be appointed in accordance with the provisions of the election agreement for the conducting of the election on the aforesaid election date with Tarrant County, Texas.

Section 9: THAT the Mayor is hereby authorized to execute aforesaid election agreement for and on behalf of the City.

Section 10: THAT the expenses of the joint election shall be borne as outlined in the election agreement with the Tarrant County Election Administrator.

Section 11: THAT any runoff election required for the election of members of the City Council of the City of Hurst, Texas, ensuing from the General Election of May 7, 2016, shall be held on Saturday, June 18, 2016, or as designated by the joint election agreement and contract and in accordance with the election code.

AND IT IS SO RESOLVED.

Passed by a vote of \_\_\_to \_\_\_ this the 12th day of January 2016.

ATTEST:

CITY OF HURST

\_\_\_\_\_  
Rita Frick, City Secretary

\_\_\_\_\_  
Richard Ward, Mayor

Approved as to form and legality:

\_\_\_\_\_  
City Attorney

**TEEN COURT ADVISORY BOARD MINUTES  
MEETING OF NOVEMBER 5, 2015**

**DRAFT**

**STATE OF TEXAS           §**

**COUNTY OF TARRANT   §**

**CITY OF BEDFORD       §**

**The Teen Court Advisory Board of the cities of Hurst, Euless and Bedford, Texas met at 6:00 p.m. at Bedford City Hall on the 5th day of November, 2015, with the following members present:**

HURST: Phoebe Soward, Dawn Jordan-Wells, Jennifer Tucker, Lorrie Dickerson

EULESS: Renu Sloan

BEDFORD: Janet Key, Kathleen Toms

TEEN REPRESENTATIVES:

Hurst Council Liaison – Anna Holzer

Bedford Council Liaison –

Euless Council Liaison – Eddie Price

HEB Teen Court Coordinator – Mindy Eichorst

HEB Teen Court Assistant Coordinator –

Also present:

Hurst City Secretary –

Euless Staff Liaison –

Bedford Court Manager – Doug Campbell

Hurst Court Manager – Lisa Howard

HEB Teen Court Teen Liaison- Jack Boyd, Nolan Catholic High School

Bedford Administrative Services Director-

**CALL TO ORDER**

Advisory Board Chairperson Phoebe Soward called the meeting to order at 6:00 p.m. with a quorum of five Board Members present.

**APPROVAL OF MINUTES**

- 1. Consider approval of the following Teen Court Advisory Board minutes:  
a) October 1, 2015 Regular Meeting**

Minutes of the October 1, 2015 Regular Board Meeting were reviewed. Dawn Jordan-Wells made a motion to accept the minutes and Lorrie Dickerson seconded the motion. There was a unanimous vote.

## **OLD BUSINESS**

### **2. Discuss ideas for fundraisers.**

Lorrie Dickerson gave an overview of the presentation that Vickie Aulie from All for Gooooooooood! for those Board Members that were not present in October. It was explained that there are several options for fundraising, including trips, jewelry, and memorabilia, that can be options for the banquet. Dawn Jordan-Wells brought up checking into Chick-fil-A in Hurst (a new one opening on Hwy. 26) and seeing if they had any evenings available. Lorrie Dickerson suggested Raising Cane's located in Hurst and will check with the manager and see if there are any evening dates available. Kathleen Toms suggested the months of January and February were good months since that is when companies have more money to contribute. Kathleen Toms made a motion to utilize All for Gooooooooood! and Vickie Aulie for the 2016 annual Teen Court Scholarship Banquet. Janet Key seconded the motion and the motion was unanimously approved.

### **3. Discuss and possibly take action on items as they relate to the 2016 annual Teen Court Banquet.**

There was a discussion of where to have the 2016 banquet. Many options were suggested including the Old Bedford School, located in Bedford, Bedford Public Library, located in Bedford, Brookside Center, located in Hurst, Texas Star Conference Center, located in Euless, and Hurst Conference Center, located in Hurst. There was some concern at Old Bedford School with the amount of space and the layout, plus it would need to be catered in. The Bedford Library and Brookside Center would also need to be catered in. The Board Members narrowed it down to the Hurst Conference Center and Texas Star Conference Center. Kathleen Toms made a motion to have the 2016 banquet at the Hurst Conference Center and Janet Key seconded the motion. This was a unanimous vote with all of the Board Members. The decision was made by all Board Members to have a few dates available on a Thursday evening in the month of April. Their decision was April 21 as their first choice, April 7 as their second choice, and April 14 as their third choice.

## **NEW BUSINESS**

### **4. Set the date for the next Teen Court Advisory Board Meeting.**

All Board Members made the unanimous decision that the next meeting will be on Thursday, January 7, 2016 at 6:00 pm at Bedford City Hall.

## **REPORTS**

Teen Court Coordinator Mindy Eichorst went over the Coordinator's Report and Finance Report for the months of September and October.

## **ADJOURNMENT**

Janet Key entered a motion for the meeting to be adjourned. Jennifer Tucker seconded the motion and all voted in favor. The meeting was adjourned at 6:55 p.m.

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**Phoebe Soward, Chairperson**

## Future Event Calendar

January 12, 2016

<b>DATE AND TIME</b>	<b>ACTIVITY</b>
Tuesday, January 12, 2016 6:30 p.m.	Regular City Council Meeting City Council Chambers
Tuesday, January 26, 2016 6:30 p.m.	Regular City Council Meeting City Council Chambers
Tuesday, February 9, 2016	Regular City Council Meeting City Council Chambers
Monday, February 15, 2016	Town Hall Forum Hurst Conference Center
Tuesday, February 23, 2016	Regular City Council Meeting City Council Chambers
Sunday, March 13, 2015	Daylight Savings Time Begins
Tuesday, March 8, 2016 6:30 p.m.	Regular City Council Meeting City Council Chambers
Tuesday, March 22, 2016 6:30 p.m.	Regular City Council Meeting City Council Chambers
Friday, March 25	Holiday – City Offices Closed